



*The BrickKicker is pleased to present this
professional home inspection report
for the property located at:*

**XXXXXXX
XXXXXXX, TN 3XXXX**

inspected on 09/22/2016

**For more information please contact
The BrickKicker**

**Scott Moore
615.789.9122**



September 23, 2016

XXXXXXXXXX

Reference: Inspection located at:

XXXXXXXXXX

XXXXXXXXXX

Date Inspected: 09/22/2016

Dear Mrs. XXXXXXXX:

Thank you for giving us the opportunity to perform inspection services at the above address. For your convenience, we have created a brief summary of our findings extracted from the complete inspection report provided to you. Please note that the findings identified in the summary reflect our opinion only, and should not be taken out of the context of the entire report. **We strongly recommend that you take the time to read the entire report**, as there may be items or issues of concern to you that are not listed in the summary. The list below is in no particular order and does not imply any one thing is more important than another.

REPORT SUMMARY

BUILDING PROPER

COMMENTS

Because of the visual nature of this home inspection, it is not possible to inspect or report on conditions in areas that are inaccessible, obstructed or concealed from view. Your inspector can only address those areas that are readily accessible at the time of the inspection. The inspector is not required, and should not be expected, to move furnishings or other items during the inspection, disassemble equipment or open wall coverings. A home inspection is a "snapshot" of the home at the time of the inspection; it is designed to educate a buyer about the home, not to replace the obligation of a home seller to disclose known defects. A home inspection is not a guarantee or warranty of the condition of the home or property; neither is it a guarantee that conditions will not change in the future. We strongly recommended that the buyer perform a thorough pre-closing walk-through inspection in order to confirm the condition of the house, systems and appliances therein, and to check areas that may have been obstructed from view at the time of the home inspection.

The natural gas supply to this dwelling was shut off prior to this inspection, and could not be restored at this time. This condition limited the scope of this inspection, in that none of the gas-related systems, piping, fixtures and appliances could be fully evaluated. I recommend that, prior to closing, the gas supply be restored and that all gas-related items be thoroughly evaluated.

VEGETATION (Trees, Shrubs, Vines Affecting the Building)

Shrubs were overgrown around exterior of home. Recommend cutting these back to maintain at least 8 to 12 inches of clear space between the structure and any vegetation to promote proper air circulation and help prevent damage from stains, moisture and insects.

Comments:

EXTERIOR WALLS

Vinyl Siding: Damaged siding materials were noted on one or more areas of the building. This may allow water damage to the underlying surfaces. Correction by a qualified contractor is recommended.

PATIO(S) & WALKWAY(S)

Concrete Walkway(s):

Typical cracking was noted at the building's walk(s). This is usually caused by shrinkage of the concrete as well as compaction of the soil under the walkway(s) over time, and usually occurs only in the first few years after the walkway(s) are installed.

Monitoring of the settlement is recommended.

DECK(S), PORCH(S), BALCONY(S) & RAILING(S)

Wood: Evidence of possible wood destroying insects (e.g. termites, carpenter ants, powder post beetles) was observed in one or more areas. Further evaluation by a qualified pest specialist is recommended, as is repair of any damaged wood areas by a qualified contractor. Wood destroying organism investigation was beyond the scope of this inspection.

STOOPS, STAIRS, STEP(S) & RAILING(S)

Wood Steps: Rotting wood was noted at one or more areas. Repair by a qualified contractor is recommended for safety - noted on the following item(s):

- Deck or Floor Board(s)

The ledger board for the back stairs appeared to be nailed to the house. The ledger board is an important structural component that should be properly attached to the main house (nails may allow it to pull away from the house). Recommend further evaluation and correction by a qualified contractor.

DRIVEWAY(S)

Concrete driveway:

Typical cracking was noted. This is usually caused by shrinkage of the concrete as well as compaction of the soil under the driveway over time, and usually occurs only in the first few years after the driveway is installed. Monitoring of the cracking is recommended.

EXTERIOR DOOR(S)

Panes of glass in the basement exterior doors were noted to be broken. Proper replacement of the broken glass is recommended for safety and security.

The front exterior door would benefit from adjustment to open and close smoothly and properly.

The side jambs of the basement exterior doors were rotted. Proper repair and refinishing is recommended.

The basement exterior door appeared to leak water during a rain storm. Recommend further evaluation and correction by a qualified contractor.

ROOF

Comments:

GUTTERS & DOWNSPOUTS

A downspout on the front right of the house appeared to be loose from the black corrugated drain pipe. Recommend re-attaching the downspout to the drain pipe.

Recommend all downspout drainage be directed at least 5 feet away from the foundation areas. Keeping water away from the foundation is beneficial for keeping areas such as crawl spaces and basements dry.

Some of the downspouts drain into an underground system. We are unable, as a part of this inspection, to determine where they drain to and if they are functional.

CHIMNEY(S) & CAP(S)

Brick Chimney(s):

The clay tile flue appeared to be cracked or otherwise damaged when observed from the top of the chimney, which is a potentially hazardous condition. Further evaluation by a qualified contractor is recommended.

A Spark Arrestor or rain cap was not in place on the masonry chimney. The installation of one will greatly reduce the opportunity for rain water to directly enter the chimney liner.

ROOMS

Comments:

CEILINGS

Cracks were observed that are common to drywall and plaster ceilings. These are usually cosmetic and may be repaired as desired however, monitoring of all cracking for possible movement is recommended. Some cracks will re-occur as a result of normal expansion and contraction from changing indoor humidity levels and seasonal changes.

The removal of ceiling tiles is excluded from the inspection, as per industry standards. Defects such as open electrical wiring may be hidden above the ceiling tiles.

Staining (apparently from moisture) was observed in numerous areas of the basement ceiling: The staining was DRY at one or more areas when tested with a moisture meter. Recommend monitoring of the staining and/or checking with the current owner. It is also recommended to determine and correct the source of the staining if still active.

WALLS

There was a gap between the wall and the door frame to the attic space above the garage. This gap will allow outside air into the living space. Recommend sealing the gap.

WINDOWS (Sample Testing Only)

The garage window did not appear to be properly seated into the frame. Recommend further review and correction if necessary by a qualified window contractor.

The window sill in the basement bedroom appeared to be unfinished. There was a large gap running the length of the sill.

INTERIOR DOORS (Sample Testing Only)

One or more of the interior doors would benefit from adjustment to open and close smoothly and properly. These include: Guest Bedroom,

Missing door knobs on front and rear guest bedroom closet doors. Recommend adding door knobs for ease of operation.

STEP(S), STAIRWAY(S) & RAILING(S)

Modern standards require that a landing be installed on both sides of the door, especially if the door swings over the stairs. Recommend further review and correction by a qualified contractor.

No handrails were present on the stairs leading to the finished basement, and the surface rise or height differential is enough to present a possible safety hazard. Installation of proper railings is recommended.

Areas of the carpet were noted to be loose on the stairs leading to the finished basement. This may be a tripping hazard, especially on stairs or in hallways. Recommend properly re-securing or replacing all loose carpet.

FIREPLACE(S) / SOLID FUEL BURNING STOVE(S)

There was a gas log insert sitting on the living room floor connected to a gas line. Recommend reading the manufacturers instructions to determine if this is an appropriate and safe method to use this insert. If not, correction is required.

Wood (Solid Fuel) Burning Stove(s): The wood burning stove in the basement was full of ashes and/or debris. Defects may be hidden under and behind this material. Recommend proper cleaning and further evaluation of the stove by a qualified chimney sweep.

Due to the design of the wood burning stove, the interior of the flue could not be observed. Hidden defects may exist in the flue.

Recommend further review of the chimney and proper cleaning of the flu by a certified chimney sweep.

BATHROOM: HALL

Comments:

BATHTUB (Includes Wall/Tile)

Proper caulking maintenance around the tub area is recommended to help prevent moisture damage to the underlying surfaces.

TUB FAUCET

There is a gap between the tub spout and the wall surround. This location is an excellent area for water to entry the wall cavity. Sealant is recommended in this area.

SINK/VANITY

The sink was loose. Recommend properly attaching the sink tightly to the wall for safety and to prevent leaks from developing.

SINK DRAIN

Leaking was noted under the sink from the waste line and/or other piping. Correction by a qualified contractor is recommended.

SINK FAUCET

The water pressure was lower than normal which can be caused by older piping or simply a clogged aerator. Further review by a qualified plumber is recommended.

TOILET

The flooring at the base of the toilet was wet when tested and the toilet appeared to be leaking at the base (will probably need a new wax seal). Correction by a licensed plumber is recommended.

BATHROOM: MASTER

Comments:

SINK DRAIN

The sink drains slowly. There are several things that can cause this, including the accumulation of hair and soap scum in the drain piping. Drain opening chemicals can sometimes help, but often provide only temporary relief. Further review and correction by a qualified plumber is recommended.

The drain/waste piping below sink was not fully visible because of stored personal items. Defects may be hidden behind by the stored items, therefore careful review of this area during the final walk-through is suggested.

TOILET

The flooring at the base of the toilet was wet when tested and the toilet appeared to be leaking at the base (will probably need a new wax seal). Correction by a licensed plumber is recommended.

FLOOR

One or more cracked floor tiles were noted. This is usually a cosmetic issue caused by the sub-flooring being too flexible for tile. Correction may involve stiffening the sub-flooring to prevent new floor tiles from cracking.

BATHROOM: BASEMENT

Comments:

SHOWER (Includes Wall/Tile)

Staining (apparently from moisture) was observed around the top of the shower wall: The staining was DAMP or WET at one or more areas when tested with a moisture meter. This indicates the probable presence of one or more leaks: recommend that the source of the moisture be determined and corrected by a qualified contractor.

FLOOR

The vinyl sheet flooring was observed to be lifted at edges and/or seams in one or more locations. Proper repair is recommended.

KITCHEN

Comments:

SINK DRAIN

The drain/waste piping below sink was not fully visible because of stored personal items. Defects may be hidden behind by the stored items: careful review of this area during the final walk-through is suggested.

FLOOR

Loose flooring was observed in one or more areas first floor kitchen. This may be a tripping hazard, and proper repair is recommended.

APPLIANCE #2

Refrigerator: The ice dispenser did not appear to operate properly. Recommend further evaluation and correction by a qualified appliance technician.

PLUMBING

Comments:

WATER PIPING MATERIAL(S)

Active water drips and/or leaks were observed above the water heater. Proper repair by a licensed plumber is recommended.

WATER HEATER

Rust or corrosion was noted at the top of the water heater. This is usually caused by leaking supply pipes. Recommend correction of the leaks, if still present, and monitoring of the water heater for continued function and performance.

The temperature and pressure relief valve was not properly piped. In an emergency, this valve will discharge scalding water. Recommend installing piping so that the valve will discharge to a point about 6 inches from the floor.

FUEL SUPPLY PIPING & STORAGE

The gas was shut off at the meter. Therefore, the gas piping could not be fully inspected or checked for leaks, and gas-fired appliances and equipment in the house and/or garage could not be checked for operation. Recommend checking with the current owner and inspection of the gas piping, appliances and equipment after the gas is turned on and before the closing.

OTHER

Garden Hose Bibb(s): One or more of the garden hose bibb handles was missing and the hose bibb(s) could not be tested.

ELECTRICAL

Comments:

SUB PANEL(S)

Electrical Panel and Cabinet: One or more bushings were noted to be missing in the garage panel . Proper correction by a qualified electrician is recommended to prevent possible damage to the wiring.

Electrical Panel and Cabinet: The electrical panel cover in the basement was missing one or more of the attachment screws. If multiple screws are missing, this is a potentially hazardous situation. Recommend replacing all missing screws with properly fitting blunt end (not pointed) screws.

RECEPTACLES (Outlets)

One or more electrical outlets were observed that are missing protective cover plates. Recommend installation of proper cover plates at all receptacles to avoid shock hazard from exposed conductors.

"Missing Cover Plate" Location(s): Living/Dining Room.

LIGHT FIXTURES

Numerous lighting fixtures did not operate at the time of the inspection using normal controls. This often indicates that light bulbs may be burned out. Recommend checking with the current owner and verifying operation before the closing.

The office fan rubbed the light fixture when turned on making the fan unusable. Recommend further evaluation and repair.

SMOKE DETECTORS

Several of the smoke detectors appeared to be broken, inoperable or missing from their mounts. Repair or replacement is recommended. Dead batteries are often the reason for detectors not working.

HVAC

Comments:

HEATING Unit 1

The heating equipment does not appear to have had recent maintenance. Heat exchanger defects may be hidden by dirt, soot or corrosion. Proper cleaning and further evaluation by a qualified heating contractor is recommended.

The gas was shut off at the time of the inspection, and the unit could not be verified for proper operation. Recommend checking with the current owner as to why it was shut off and having the operation of the unit verified.

Forced Air Filter: The air filter(s) was dirty at the time of the inspection. Dirty filters restrict air flow which may cause short cycling and can shorten the life of the heating equipment. Recommend changing (or cleaning, if a reusable type) the filter in accordance with the filter manufacturer's and the heating equipment manufacturer's directions.

HEATING Unit 2

The heating equipment does not appear to have had recent maintenance. Heat exchanger defects may be hidden by dirt, soot or corrosion. Proper cleaning and further evaluation by a qualified heating contractor is recommended.

The gas was shut off at the time of the inspection, and the unit could not be verified for proper operation. Recommend checking with the current owner as to why it was shut off and having the operation of the unit verified.

Forced Air Filter: The air filter(s) was dirty at the time of the inspection. Dirty filters restrict air flow which may cause short cycling and can shorten the life of the heating equipment. Recommend changing (or cleaning, if a reusable type) the filter in accordance with the filter manufacturer's and the heating equipment manufacturer's directions.

The air filter(s) was loose. The poor fit may allow dust and hair to accumulate and restrict air flow, which in turn may cause short cycling and can shorten the life of the heating equipment. Recommend correction by a qualified heating contractor so that the filter fits properly.

The air return door in the master bedroom appeared to be bent and did not fit properly in the frame. Recommend repair or replace by a qualified contractor.

COOLING Unit 1

Forced Air: The exterior compressor/condenser unit would benefit from professional maintenance. The unit should be kept clean for maximum performance and efficiency. Proper servicing by a qualified heating contractor is recommended.

COOLING Unit 2

Forced Air: The exterior compressor/condenser unit would benefit from professional maintenance. The unit should be kept clean for maximum performance and efficiency. Proper servicing by a qualified heating contractor is recommended.

FOUNDATION

COMMENTS:

FLOOR(S)

The floor appeared to be heaved in the basement bedroom. However, the carpet covered the area and it was impossible to confirm if it was cracked or just uneven. This may be caused by settling of the foundation walls, underground plumbing, or other reasons. The floor usually has very little impact on the structure and the heaved areas of the floor may be corrected as desired.

FOUNDATION WALLS

Dampness was noted several areas, as tested with a moisture meter. This can increase the risk of insect infestation, mildew, and rot. Recommend locating and correcting the source of the dampness, which may include improving exterior drainage and/or sealing of foundation cracks.

A dark material that *could* be mold was noted at several areas of the foundation wall. This is an indication of excess moisture, either from leaks or condensation/humidity. Identification and correction of the moisture source then proper removal of the dark material is recommended however, the actual presence of mold can only be determined by proper testing, which is not a part of this inspection.

A musty odor was noted, which usually indicates that chronic moisture has been present. It is recommended to determine and control the source of the moisture and also checking with the current owner for any information regarding possible moisture presence.

The proper operation of a dehumidifier is recommended in the areas that are not conditioned by the HVAC unit, especially in the warmer, humid months of spring and summer. This will help to alleviate higher humidity levels in the building.

The HVAC unit was off at the time of the inspection, which will cause the humidity level to increase. This could contribute to the musty odor and possible fungal growth. Recommend keeping the HVAC running to reduce the humidity level.

FOUNDATION VENTILATION

None: There was apparently no ventilation in areas of the basement. Adding proper foundation ventilation is recommended to help minimize moisture levels in the foundation area. High moisture levels can contribute to rotting, mold growth, bacteria and musty odors.

ATTIC

Comments:

INSULATION

Insulation appeared to be missing in some areas of the attic space(s). Recommend adding insulation to achieve a consistent total depth of 16 inches (the current standard) which will help to provide improved energy efficiency and cost savings.

Important Note: It is your responsibility to thoroughly, read and carefully interpret the entire inspection report and its accompanying materials. If you have any questions or need further clarification, you should contact our office immediately. Additionally, the full report contains many maintenance and safety tips that will be beneficial. This inspection was conducted in accordance with the terms in the pre-inspection agreement, a copy of which has been provided to you.

Thank you for allowing us to be of service.

The BrickKicker



Scott Moore
Residential Building Consultant
enclosure



Property Inspection Report

Property Address XXXXXXX City/State XXXXXXX
 Style of Building 2 Story Estimated Age 11 Years
 Client(s) XXXXXXX Present? Yes Owner Present? Yes
 Others Present Not Applicable
 Agent/Company XXXXXXXXXX
 Agent/Company XXXXXXX
 Job# 092216sm Date Inspected 09/22/2016 Time 9:00 AM Status Occupied

Inspector: Scott Moore (as Agent of Company)

Inspector: _____ (as Agent of Company)

Signed 

For Office Use Only
 Ins. Fee_
 Code_
 Env. _

WEATHER CONDITIONS Temperature was 85 and Clear

GROUND CONDITIONS Damp

REPORT EXPLANATIONS

- REVIEWED:** All component(s) in this category appeared to be functioning normally at the time of the inspection. The component(s) may show typical wear and tear.
- N/A:** Listed component(s) in this category were not applicable to, and therefore not included in, this inspection.
- COMMENTS(S):** Component(s) in this category were subject to one or more comments as printed on each page below. Monitoring, minor maintenance, or further attention may be suggested, as indicated in the comment(s). Further evaluation by a QUALIFIED CONTRACTOR may be recommended.

Comments provided may apply only to a portion of an item or only to certain items within the category. The inspector will usually provide an explanation of this within the written commentary.

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Building Exterior

I BUILDING PROPER



Vegetation, grading, surface drainage, and retaining walls are reviewed when any of these items may potentially adversely affect the building. Siding and/or structural defects may be hidden behind dense foliage, vines, snow, stored items, debris or finishes and can not be included with this inspection. Areas that visually appear to be deteriorated may be probed, if accessible. Additional defects may be found when repairs are made to items listed in this report or when remodeling is done on the exterior. We cannot be held responsible for any hidden defects found after the inspection.

	Reviewed	N/A	*Comments	
Exterior Walls: Siding Type(s):	Brick and Vinyl.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Exterior Trim:		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Eaves, Soffits & Fascia:		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Patio(s) & Walkway(s):		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Deck(s), Porch(s), Balcony(s) & Railing(s):		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Stoop(s), Stairs, Step(s) & Railing(s):		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Driveway(s):		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Exterior Door(s):		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Grading and Drainage:		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Vegetation (Trees, Shrubs, Vines Affecting the Building)		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Comments

*Items marked 'Comments' usually require attention - See Report Explanations

Because of the visual nature of this home inspection, it is not possible to inspect or report on conditions in areas that are inaccessible, obstructed or concealed from view. Your inspector can only address those areas that are readily accessible at the time of the inspection. The inspector is not required, and should not be expected, to move furnishings or other items during the inspection, disassemble equipment or open wall coverings. A home inspection is a "snapshot" of the home at the time of the inspection; it is designed to educate a buyer about the home, not to replace the obligation of a home seller to disclose known defects. A home inspection is not a guarantee or warranty of the condition of the home or property; neither is it a guarantee that conditions will not change in the future. We strongly recommended that the buyer perform a thorough pre-closing walk-through inspection in order to confirm the condition of the house, systems and appliances therein, and to check areas that may have been obstructed from view at the time of the home inspection.

The natural gas supply to this dwelling was shut off prior to this inspection, and could not be restored at this time. This condition limited the scope of this inspection, in that none of the gas-related systems, piping, fixtures and appliances could be fully evaluated. I recommend that, prior to closing, the gas supply be restored and that all gas-related items be thoroughly evaluated.

VEGETATION (Trees, Shrubs, Vines Affecting the Building)

Shrubs were overgrown around exterior of home. Recommend cutting these back to maintain at least 8 to 12 inches of clear space between the structure and any vegetation to promote proper air circulation and help prevent damage from stains, moisture and insects.



*Note: For the purposes of identifying specific areas of the building, assume you are outside facing the house from the street or road.
Report references may be made to "left", "right", "front", or "rear".*

Comments:

EXTERIOR WALLS

Vinyl Siding: Damaged siding materials were noted on one or more areas of the building. This may allow water damage to the underlying surfaces. Correction by a qualified contractor is recommended.



PATIO(S) & WALKWAY(S)

Concrete Walkway(s):

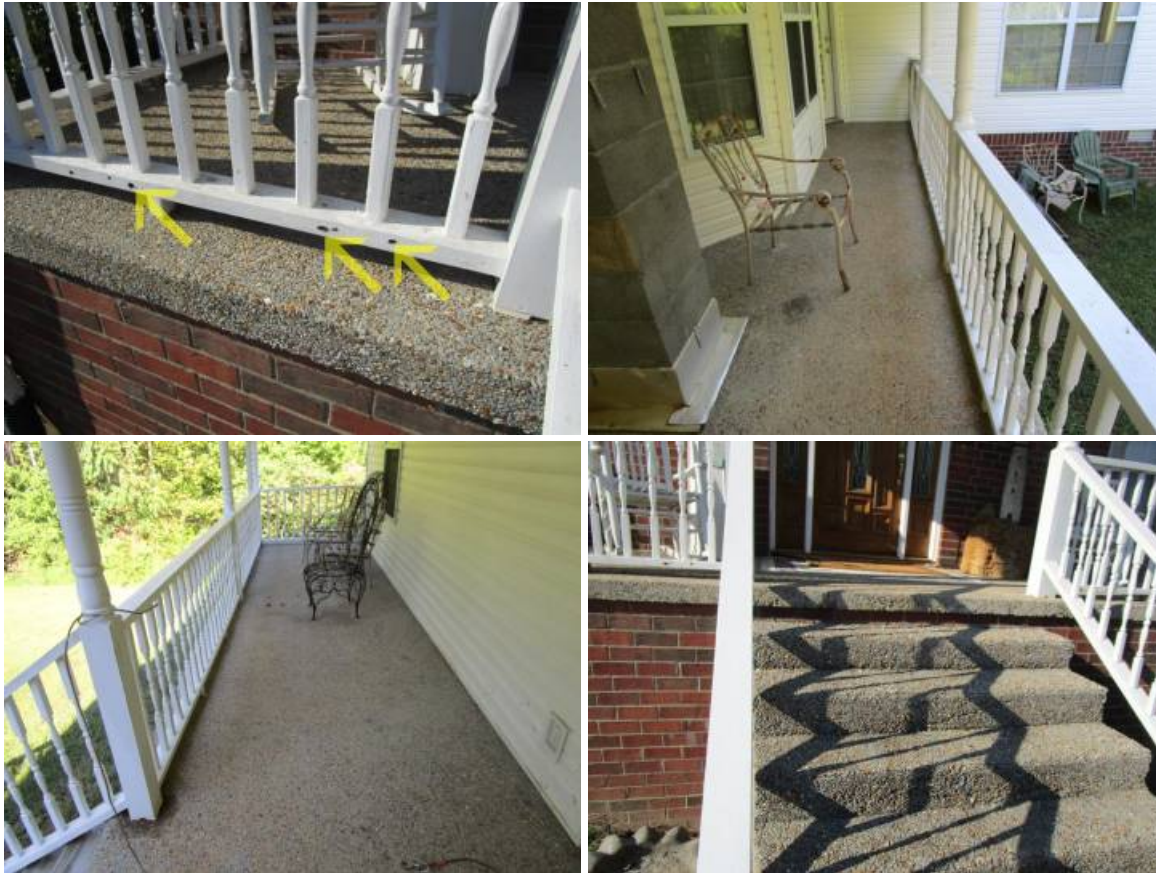
Typical cracking was noted at the building's walk(s). This is usually caused by shrinkage of the concrete as well as compaction of the soil under the walkway(s) over time, and usually occurs only in the first few years after the walkway(s) are installed.

Monitoring of the settlement is recommended.



DECK(S), PORCH(S), BALCONY(S) & RAILING(S)

Wood: Evidence of possible wood destroying insects (e.g. termites, carpenter ants, powder post beetles) was observed in one or more areas. Further evaluation by a qualified pest specialist is recommended, as is repair of any damaged wood areas by a qualified contractor. Wood destroying organism investigation was beyond the scope of this inspection.



STOOPS, STAIRS, STEP(S) & RAILING(S)

Wood Steps: Rotting wood was noted at one or more areas. Repair by a qualified contractor is recommended for safety - noted on the following item(s):

- Deck or Floor Board(s)

The ledger board for the back stairs appeared to be nailed to the house. The ledger board is an important structural component that should be properly attached to the main house (nails may allow it to pull away from the house). Recommend further evaluation and correction by a qualified contractor.





DRIVEWAY(S)

Concrete driveway:

Typical cracking was noted. This is usually caused by shrinkage of the concrete as well as compaction of the soil under the driveway over time, and usually occurs only in the first few years after the driveway is installed. Monitoring of the cracking is recommended.



EXTERIOR DOOR(S)

Panes of glass in the basement exterior doors were noted to be broken. Proper replacement of the broken glass is recommended for safety and security.

The front exterior door would benefit from adjustment to open and close smoothly and properly.

The side jambs of the basement exterior doors were rotted. Proper repair and refinishing is recommended.

The basement exterior door appeared to leak water during a rain storm. Recommend further evaluation and correction by a qualified contractor.



Building Exterior

II ROOF



This inspection is made on the basis of what is visible and accessible on the day of the inspection and is not a warranty of the roof system or how long it will be watertight in the future. For an accurate cost on what repair or replacement cost will be, a qualified roofing contractor should be contacted. All roof coverings require periodic maintenance and an annual inspection is recommended. Many leaks occur only under conditions of prolonged rain, and these conditions may not be present at the time of the inspection. Buyers are encouraged to ask the current owner about the presence of any roof leaks.

Style: Gable.

Estimated Age (Range in Years): 1-5.

Number of Layers Readily Visible: 1

Observation Method: Roof Edge: The roof was not walked. However, it was viewed from the eaves. Possible injury to the inspector due to difficult access or damage to the roofing materials precluded total access. The roof was not walked on and the evaluation is limited. This type of viewing may be in conjunction with other viewing methods.

		Reviewed	N/A	*Comments
Surface Material(s) Type:	Asphalt or Fiberglass Shingles.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Flashing & Plumbing Vent(s):		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Gutters and Downspouts:		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Ventilation (Visible Condition):		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Chimney(s) & Cap(s):		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Comments

*Items marked 'Comments' usually require attention - See Report Explanations

The foregoing is an opinion of the general quality and condition of the roofing material. The inspector cannot and does not offer an opinion or warranty as to whether the roof leaks or may be subject to future leakage. This report is issued in consideration of the foregoing disclaimer. The only way to determine whether a roof is absolutely water tight is to observe it during a prolonged rainfall. Many times, this situation is not present during the inspection. We have inspected 1000's of roofs here at The BrickKicker, and have seen, first hand, the effects of poor maintenance. If left unchecked, the roofing and roofing components can quickly deteriorate. Some general/routine maintenance can extend the life of the roof and save thousands of dollars in repair costs

Most Common Causes of Roof Leaks:

- Improper flashing around chimneys, plumbing stacks, skylights, etc.
- Missing or broken shingles or roof materials.
- Tears in roof valleys or rust and metal valleys.
- Ice damming due to improper run-off, forcing water back up under the shingles.
- Improperly hung gutters or drip edge.
- Improperly installed or wrong type of roofing.
- Cracked or deteriorated chimney caps.

Maintenance

Best Performed in Spring and Fall

- Check for loose, damaged, or missing shingles.
- On flat roofs, check of r cracking or blistering.
- Inspect flashing around chimneys, skylights, plumbing stacks, etc.
- Check vents, louvers, and chimneys for bird or insect nests.
- Keep all debris cleared from roof, especially in and around valleys.
- Trim back trees and shrubs growing over roof.

We recommend referring to the HOME REFERENCE GUIDE provided with this report for maintenance suggestions.

Comments:

SURFACE MATERIAL(S)







FLASHING & PLUMBING VENT(S)

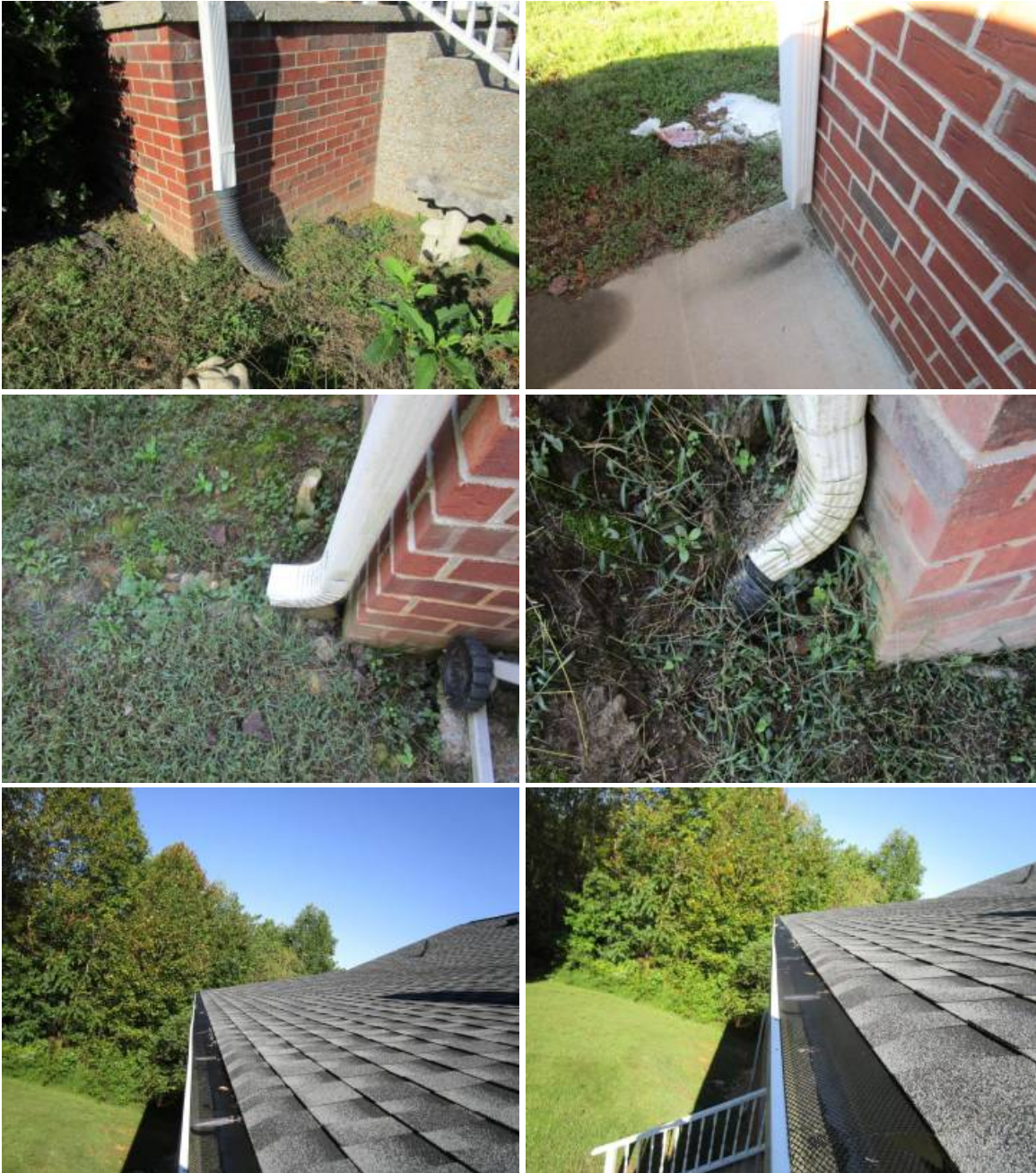


GUTTERS & DOWNSPOUTS

A downspout on the front right of the house appeared to be loose from the black corrugated drain pipe. Recommend re-attaching the downspout to the drain pipe.

Recommend all downspout drainage be directed at least 5 feet away from the foundation areas. Keeping water away from the foundation is beneficial for keeping areas such as crawl spaces and basements dry.

Some of the downspouts drain into an underground system. We are unable, as a part of this inspection, to determine where they drain to and if they are functional.





CHIMNEY(S) & CAP(S)

Brick Chimney(s): This inspection is limited to the visible sections of the chimney. The interiors of chimney flues are not fully visible and therefore cannot be thoroughly inspected. I inspected the visible sections of the chimney, and only those visible portions are represented in this report. A chimney specialist can provide a more comprehensive inspection of the flues and any other inaccessible portions. It is always advisable that the chimney be professionally cleaned and inspected before use. Chimney specialists, as well as some other contractors, are typically called when someone has a problem that needs correction. This being anticipated, contractors generally assume that you are anticipating that work will be needed. Please be sure to explain to the chimney specialist that you are requesting an inspection and evaluation of the chimney and its ability to function properly, and are not requesting a proposal for work. This will probably require an inspection fee to compensate for the contractor's time. More information about the care and operation of your chimney and/or fireplace can be obtained by contacting "The Chimney Safety Institute of America" at their web site: www.csia.org.

The clay tile flue appeared to be cracked or otherwise damaged when observed from the top of the chimney, which is a potentially hazardous condition. Further evaluation by a qualified contractor is recommended.

A Spark Arrestor or rain cap was not in place on the masonry chimney. The installation of one will greatly reduce the opportunity for rain water to directly enter the chimney liner.





Building Exterior

III GARAGE



Garage inspections are often limited by the occupants stored items and vehicles. Be sure to review this area after the current occupant has removed stored items and before final possession for any potential issues to be addressed at that time. This is not a technically exhaustive inspection, and minor defects may exist that are not reflected in this report. We cannot detect latent or hidden conditions, and therefore cannot be responsible for items hidden under finishes, within wall cavities, under insulation, etc.

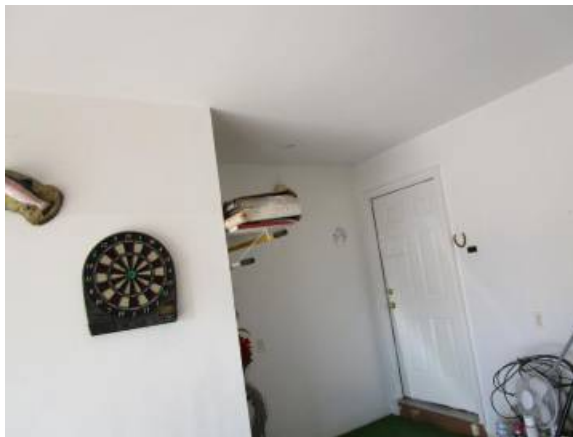
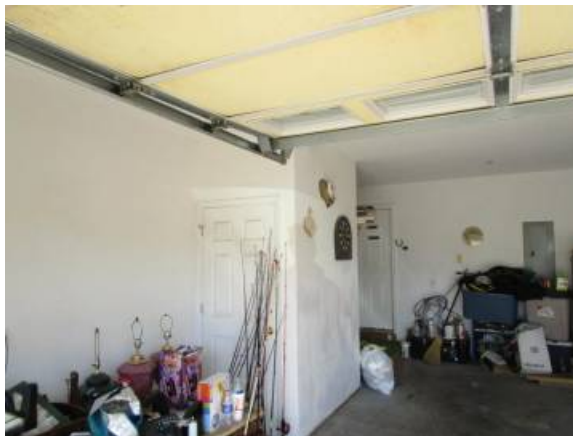
Type: Integral.

	Reviewed	N/A	*Comments
Garage Interior:	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Automotive Door(s): Metal.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Automatic Opener(s):	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Service Door(s):	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Floor / Foundation:	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Comments:

GARAGE INTERIOR

Portions of the garage interior were not inspected due to stored personal items blocking access. Stains or defects may be hidden behind these items and are excluded from this inspection. Recommend a careful review of these areas after the stored items have been removed.





AUTOMOTIVE DOOR(S)

The bottom of the door was rusted. Proper repair and refinishing is recommended to extend the life of the garage door.

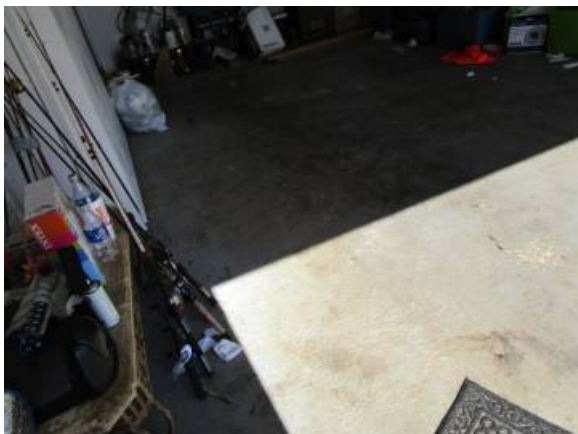


FLOOR / FOUNDATION

Some typical cracking of the floor was observed, which does not usually indicate a structural deficiency: monitoring of the cracking is recommended.

Staining was observed in one or more areas of the garage floor: The staining was DRY when tested with a moisture meter. Recommend monitoring of the staining and/or checking with the current owner. It is also recommended to determine and correct the source of the staining if still active.

The drain outside of the garage door appeared to be completely filled with debris. This likely contributes to the water intrusion that caused the water stains on the garage floor. Recommend cleaning the drain.





Drain Full of Debris

Building Interior

IV ROOMS



Furniture and other personal possessions and/or stored items may prevent a complete examination of wall and/or floor surfaces. Normal shrinkage, settlement and seasonal changes in wood framing may cause minor cracking in walls and ceilings. Most wall and ceiling cracking is typical and not usually caused by structural movement.

Room(s): General.

Location: Throughout.

Water Stains or Damage: Yes: See comments below.

	Reviewed	N/A	*Comments
Ceilings:	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Walls:	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Windows (Sample Testing Only):	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Interior Doors: (Sample Testing Only)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Floors:	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Step(s), Stairway(s) & Railing(s):	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Permanent Heat Source in Each Habitable Room:	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Fireplace(s) / Solid Fuel Burning Stove(s):	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

(For personal safety, we recommend that these items be cleaned and checked annually by a qualified chimney sweep.)

If Fireplaces or Solid Fuel Burning Stoves were present, only visible and readily accessible portions of the fireplaces or stoves have been reviewed.

Flue defects may exist that can only be discovered through a Level 2 chimney inspection performed by a qualified chimney sweep. **Manually lit gas fireplaces are not operated as a part of this inspection.**

Comments:

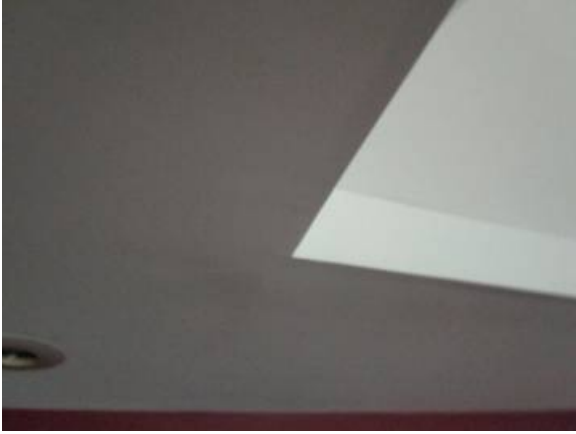
CEILINGS

Cracks were observed that are common to drywall and plaster ceilings. These are usually cosmetic and may be repaired as desired however, monitoring of all cracking for possible movement is recommended. Some cracks will re-occur as a result of normal expansion and contraction from changing indoor humidity levels and seasonal changes.

The removal of ceiling tiles is excluded from the inspection, as per industry standards. Defects such as open electrical wiring may be hidden above the ceiling tiles.

Staining (apparently from moisture) was observed in numerous areas of the basement ceiling: The staining was DRY at one or more areas when tested with a moisture meter. Recommend monitoring of the staining and/or checking with the current owner. It is also recommended to determine and correct the source of the staining if still active.





WALLS

There was a gap between the wall and the door frame to the attic space above the garage. This gap will allow outside air into the living space. Recommend sealing the gap.



WINDOWS (Sample Testing Only)

The garage window did not appear to be properly seated into the frame. Recommend further review and correction if necessary by a qualified window contractor.

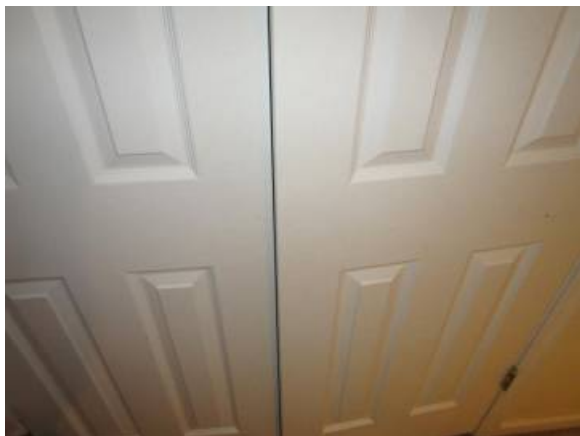
The window sill in the basement bedroom appeared to be unfinished. There was a large gap running the length of the sill.



INTERIOR DOORS (Sample Testing Only)

One or more of the interior doors would benefit from adjustment to open and close smoothly and properly. These include:
Guest Bedroom,

Missing door knobs on front and rear guest bedroom closet doors. Recommend adding door knobs for ease of operation.

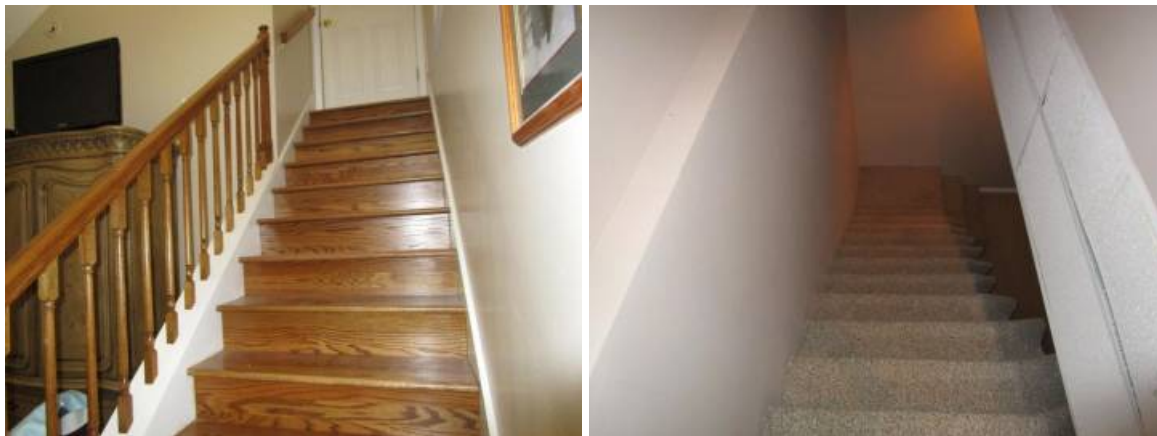


STEP(S), STAIRWAY(S) & RAILING(S)

Modern standards require that a landing be installed on both sides of the door, especially if the door swings over the stairs. Recommend further review and correction by a qualified contractor.

No handrails were present on the stairs leading to the finished basement, and the surface rise or height differential is enough to present a possible safety hazard. Installation of proper railings is recommended.

Areas of the carpet were noted to be loose on the stairs leading to the finished basement. This may be a tripping hazard, especially on stairs or in hallways. Recommend properly re-securing or replacing all loose carpet.



FIREPLACE(S) / SOLID FUEL BURNING STOVE(S)

There was a gas log insert sitting on the living room floor connected to a gas line. Recommend reading the manufacturers instructions to determine if this is an appropriate and safe method to use this insert. If not, correction is required.

Wood (Solid Fuel) Burning Stove(s): The wood burning stove in the basement was full of ashes and/or debris. Defects may be hidden under and behind this material. Recommend proper cleaning and further evaluation of the stove by a qualified chimney sweep.

Due to the design of the wood burning stove, the interior of the flue could not be observed. Hidden defects may exist in the flue.

Recommend further review of the chimney and proper cleaning of the flu by a certified chimney sweep.





Building Interior

V BATHROOM 1



We recommend periodic cleaning (removal of built-up dust and dirt) of bathroom ventilation (exhaust) fans to maintain proper operation. Periodic review of caulking and grouting at all tiled areas and at backsplashes is strongly recommended to prevent moisture damage to the underlying surfaces. Repairs should always be made with the proper materials. Water leaks may not appear during the inspection if the home is vacant due to lack of normal usage, but may appear after repeated usage, and we cannot be held responsible for these.

Location: 1st Floor, Hall.

	Reviewed	N/A	*Comments
Bathtub (Includes Wall/Tile):	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Tub Drain:	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Tub Faucet:	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Shower Head:	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Sink/Vanity:	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Sink Drain:	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Sink Faucet:	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Toilet:	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Venting:	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Floor:	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Comments:

BATHTUB (Includes Wall/Tile)

Proper caulking maintenance around the tub area is recommended to help prevent moisture damage to the underlying surfaces.



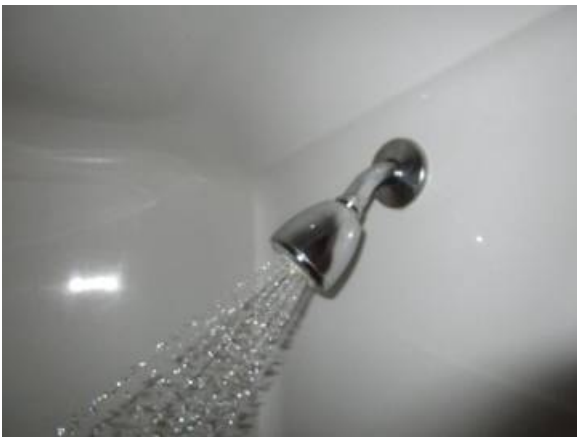


TUB FAUCET

There is a gap between the tub spout and the wall surround. This location is an excellent area for water to entry the wall cavity. Sealant is recommended in this area.



SHOWER HEAD



SINK/VANITY

The sink was loose. Recommend properly attaching the sink tightly to the wall for safety and to prevent leaks from developing.

**SINK DRAIN**

Leaking was noted under the sink from the waste line and/or other piping. Correction by a qualified contractor is recommended.

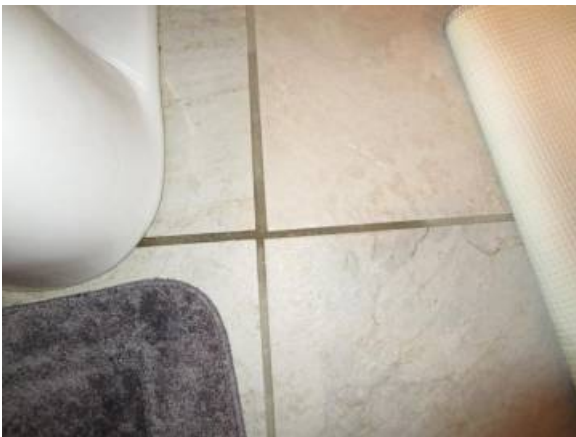
**SINK FAUCET**

The water pressure was lower than normal which can be caused by older piping or simply a clogged aerator. Further review by a qualified plumber is recommended.



TOILET

The flooring at the base of the toilet was wet when tested and the toilet appeared to be leaking at the base (will probably need a new wax seal). Correction by a licensed plumber is recommended.



Building Interior

V BATHROOM 2



We recommend periodic cleaning (removal of built-up dust and dirt) of bathroom ventilation (exhaust) fans to maintain proper operation. Periodic review of caulking and grouting at all tiled areas and at backsplashes is strongly recommended to prevent moisture damage to the underlying surfaces. Repairs should always be made with the proper materials. Water leaks may not appear during the inspection if the home is vacant due to lack of normal usage, but may appear after repeated usage, and we cannot be held responsible for these.

Location: Master.

	Reviewed	N/A	*Comments
Bathtub (Includes Wall/Tile):	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Tub Drain:	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Tub Faucet:	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Shower (Includes Wall/Tile):	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Shower Drain:	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Shower Head:	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Sink/Vanity:	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Sink Drain:	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Sink Faucet:	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Toilet:	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Venting:	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Floor:	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Comments:

BATHTUB (Includes Wall/Tile)



TUB FAUCET



SHOWER (Includes Wall/Tile)



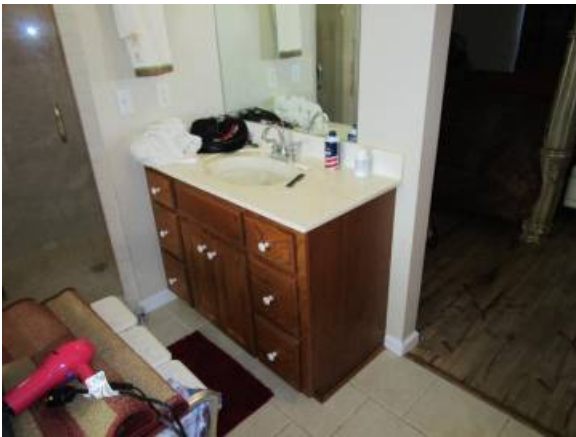
SHOWER DRAIN



SHOWER HEAD



SINK/VANITY



SINK DRAIN

The sink drains slowly. There are several things that can cause this, including the accumulation of hair and soap scum in the drain piping. Drain opening chemicals can sometimes help, but often provide only temporary relief. Further review and correction by a qualified plumber is recommended.

The drain/waste piping below sink was not fully visible because of stored personal items. Defects may be hidden behind by the stored items, therefore careful review of this area during the final walk-through is suggested.



SINK FAUCET



TOILET

The flooring at the base of the toilet was wet when tested and the toilet appeared to be leaking at the base (will probably need a new wax seal). Correction by a licensed plumber is recommended.



FLOOR

One or more cracked floor tiles were noted. This is usually a cosmetic issue caused by the sub-flooring being too flexible for tile. Correction may involve stiffening the sub-flooring to prevent new floor tiles from cracking.



Building Interior

V BATHROOM 3



We recommend periodic cleaning (removal of built-up dust and dirt) of bathroom ventilation (exhaust) fans to maintain proper operation. Periodic review of caulking and grouting at all tiled areas and at backsplashes is strongly recommended to prevent moisture damage to the underlying surfaces. Repairs should always be made with the proper materials. Water leaks may not appear during the inspection if the home is vacant due to lack of normal usage, but may appear after repeated usage, and we cannot be held responsible for these.

Location: Basement.

	Reviewed	N/A	*Comments
Shower (Includes Wall/Tile):	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Shower Drain:	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Shower Head:	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Sink/Vanity:	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Sink Drain:	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Sink Faucet:	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Toilet:	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Venting:	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Floor:	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Comments:

SHOWER (Includes Wall/Tile)

Staining (apparently from moisture) was observed around the top of the shower wall: The staining was DAMP or WET at one or more areas when tested with a moisture meter. This indicates the probable presence of one or more leaks: recommend that the source of the moisture be determined and corrected by a qualified contractor.





SHOWER HEAD



SINK/VANITY



SINK DRAIN



SINK FAUCET



TOILET

The flooring at the base of the toilet was wet when tested and the toilet appeared to be leaking at the base (will probably need a new wax seal). Correction by a licensed plumber is recommended.

The toilet fixture appeared to be loose at the floor. This condition can cause the toilet to leak at the base, potentially causing damaged and/or rotted flooring. Proper correction by a qualified contractor is recommended.



VENTING



FLOOR

The vinyl sheet flooring was observed to be lifted at edges and/or seams in one or more locations. Proper repair is recommended.



Building Interior

VI KITCHEN



This is a visual inspection. Water stains or damage may be hidden by stored personal items, behind cabinets and appliances, under floor coverings, or within wall cavities and may not be reported on. If the house was vacant at the time of the inspection, leaks may not appear due to lack of normal usage. The function of all appliances remaining with the house should be verified by the client before the closing.

The BrickKicker cannot be held responsible for the function of any appliances.

	Reviewed	N/A	*Comments
Ventilation:	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Sink:	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Sink Drain:	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Faucet:	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Countertop(s):	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Cabinets:	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Floor:	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Appliance #1: Range.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Appliance #2: Refrigerator.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Appliance #3: Dishwasher.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Appliance #4: Clothes Dryer.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

NOTE: We provide a cursory review of selected appliances for "on-off" function only and strictly as a courtesy to our clients. Temperatures, thermostats, features, functions and cycles ARE NOT verified. From time to time, an appliance might be in a condition where it is "off" during the inspection. This might be via a disconnect switch or being unplugged. The nature of the visual inspection precludes the inspector from activating that switch or plugging that appliance into an electric connection. We strongly recommend that the client(s) verify the proper operation of all appliances during the final walk-through before the closing.

Comments:

VENTILATION

One or more of the hood filter(s) were missing. Replacement with a proper filter is recommended.

The ventilation light did not operate which may indicate a burned out light bulb or may be due to other reasons. Recommend checking with the current owner and/or further evaluation by a qualified appliance technician.





SINK



SINK DRAIN

The drain/waste piping below sink was not fully visible because of stored personal items. Defects may be hidden behind by the stored items: careful review of this area during the final walk-through is suggested.



FAUCET



COUNTERTOP(S)

The countertop(s) were loose at one or more locations in the basement kitchen. Recommend properly securing all countertops to the base cabinets.





CABINETS (Sample Testing Only)

Staining was observed under the sink in the basement kitchen: The staining was DRY when tested with a moisture meter. Recommend monitoring of the staining and/or checking with the current owner. It is also recommended to determine and correct the source of the staining if still active.





FLOOR

Loose flooring was observed in one or more areas first floor kitchen. This may be a tripping hazard, and proper repair is recommended.



APPLIANCE #1

Appliances operated normally at the time of the inspection.



APPLIANCE #2

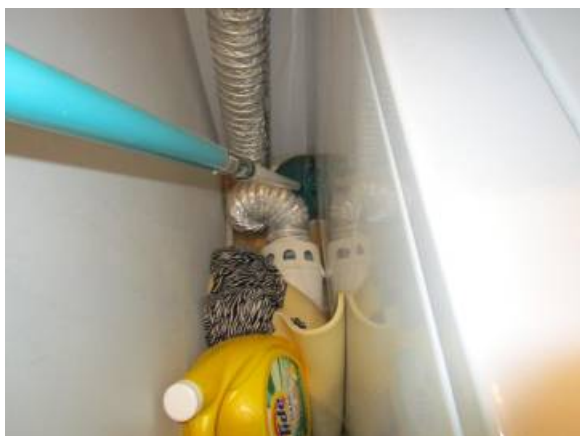
Refrigerator: The ice dispenser did not appear to operate properly. Recommend further evaluation and correction by a qualified appliance technician.

**APPLIANCE #3**

Appliances operated normally at the time of the inspection.

**APPLIANCE #4**

Clothes Dryer: The clothes dryer vents into the laundry room. This adds excess humidity and, if it is a gas dryer, carbon monoxide into the house. Recommend the clothes dryer be vented to the exterior of home.



Mechanical Systems

VII PLUMBING



Supply and drainage piping is observed in exposed areas only. The condition of piping within walls cannot be determined as a part of this inspection. Wells and septic systems are specifically excluded from this inspection - separate, specialized testing and inspection of these systems is recommended (and may be required by law). All plumbing work should be performed by licensed plumbers. There are two main methods of sanitary waste discharge from a home, overhead and underground. Overhead sewers have the lowest discharge point of a home exit the home higher than the lowest area of the home. This would have any areas below the main discharge require mechanical pumps to lift the waste up into the sewer drain. Underground sewers have a direct gravity feed between all of the sewer or drain pipes to the main exit point of the home.

Water Main Shut-Off Location: Exterior.

		Reviewed	N/A	*Comments
Water Pressure/Flow:		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Water Piping Material(s):	Copper.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Drain & Vent Piping Material(s):	PVC (Plastic)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Water Heater #1	Size: 50 gal. Type: Electric, Est. Age: 10-12 Years.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Fuel Supply Piping and Storage:		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Other:		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

The condition of underground drainage and waste piping cannot be determined by this inspection. WE STRONGLY RECOMMEND THE CLIENT MAKE AN INQUIRY WITH THE CURRENT OWNER AS TO THE CONDITION OF UNDERGROUND DRAINAGE AND WASTE PIPING AND IF THERE IS ANY HISTORY OF SEWAGE BACK-UPS INTO THE HOME.

Comments:

WATER PIPING MATERIAL(S)

Active water drips and/or leaks were observed above the water heater. Proper repair by a licensed plumber is recommended.

WATER HEATER

Rust or corrosion was noted at the top of the water heater. This is usually caused by leaking supply pipes. Recommend correction of the leaks, if still present, and monitoring of the water heater for continued function and performance.

The temperature and pressure relief valve was not properly piped. In an emergency, this valve will discharge scalding water. Recommend installing piping so that the valve will discharge to a point about 6 inches from the floor.



FUEL SUPPLY PIPING & STORAGE

The gas was shut off at the meter. Therefore, the gas piping could not be fully inspected or checked for leaks, and gas-fired appliances and equipment in the house and/or garage could not be checked for operation. Recommend checking with the current owner and inspection of the gas piping, appliances and equipment after the gas is turned on and before the closing.



OTHER

Garden Hose Bibb(s): One or more of the garden hose bibb handles was missing and the hose bibb(s) could not be tested.



Mechanical Systems

VIII ELECTRICAL



Only qualified electricians should perform all electrical repairs or modifications. The condition of wiring is typically only observed in the electrical panel(s) and/or junction boxes, outlet and switch covers are not removed. Lights that do not appear to function are often the result of burned out bulbs. AFCI (Arc Fault Circuit Interrupter) devices are only tested in vacant houses. Smoke detectors are visually checked but not tested in accordance with industry standards. Low voltage systems (door bells, telephones, etc.) are not included in this inspection.

SMOKE AND CARBON MONOXIDE DETECTORS SHOULD BE PERIODICALLY CHECKED FOR FUNCTION.

Main Service:

Underground.

Reviewed	N/A	*Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>



Service Entrance Cable Material:	AMPS: 200 Voltage: 120V, 240V, Wiring Types: Copper.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Main Service Panel:	Location: Exterior.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Sub Panel(s):	Location: Basement, and Garage, Overcurrent Protection Devices: Breakers.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Branch Circuit Wiring:	Conductor Material(s): Copper. Wiring Type(s): Non-Metallic Sheathing (Romex)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Receptacles (Outlets):		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Light Fixtures(S)		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Ground Fault Circuit Interrupters:		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Smoke Detectors:		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Other:	Switches.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Comments:

MAIN SERVICE PANEL

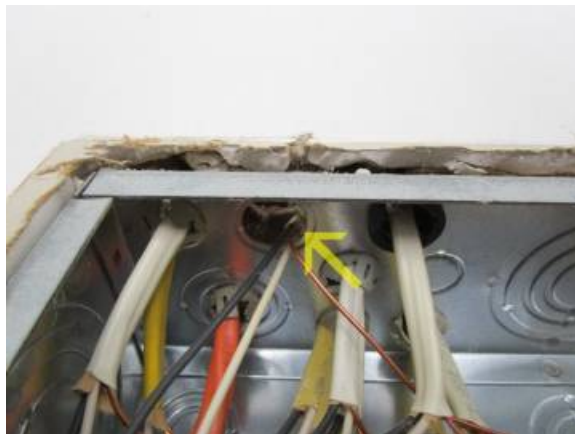
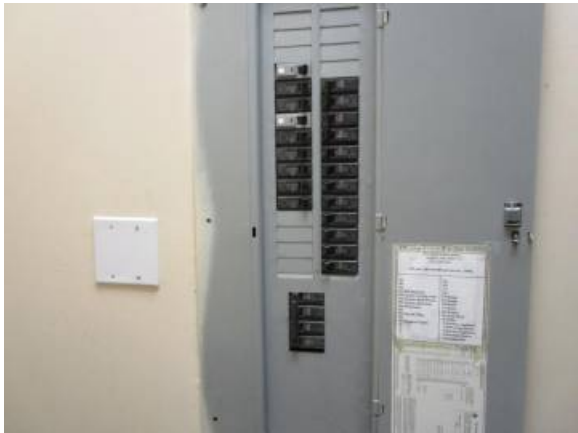
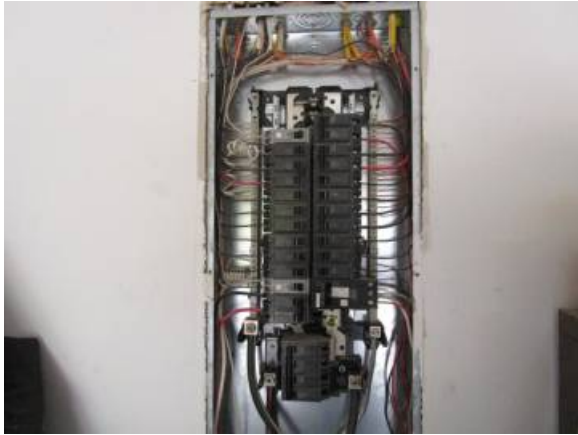


SUB PANEL(S)

Electrical Panel and Cabinet: One or more bushings were noted to be missing in the garage panel . Proper correction by a qualified electrician is recommended to prevent possible damage to the wiring.

Electrical Panel and Cabinet: The electrical panel cover in the basement was missing one or more of the attachment screws. If multiple screws are missing, this is a potentially hazardous situation. Recommend replacing all missing screws with properly fitting blunt end (not pointed) screws.





RECEPTACLES (Outlets)

One or more electrical outlets were observed that are missing protective cover plates. Recommend installation of proper cover plates at all receptacles to avoid shock hazard from exposed conductors.

"Missing Cover Plate" Location(s): Living/Dining Room.



LIGHT FIXTURES

Numerous lighting fixtures did not operate at the time of the inspection using normal controls. This often indicates that light bulbs may be burned out. Recommend checking with the current owner and verifying operation before the closing.

The office fan rubbed the light fixture when turned on making the fan unusable. Recommend further evaluation and repair.





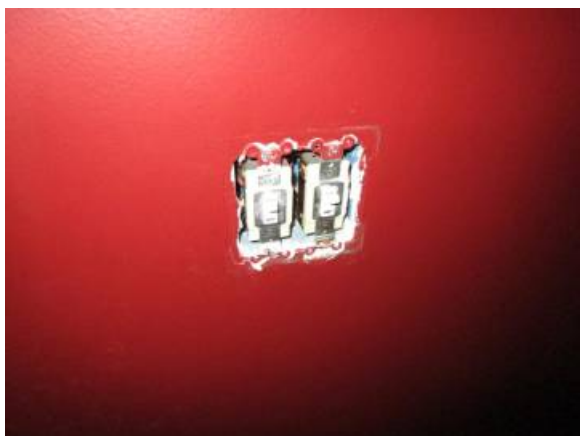
SMOKE DETECTORS

Several of the smoke detectors appeared to be broken, inoperable or missing from their mounts. Repair or replacement is recommended. Dead batteries are often the reason for detectors not working.



OTHER

Switches: One or more electrical switches were observed that are missing protective cover plates. Recommend installation of proper cover plates at all switches to avoid shock hazard from exposed conductors.



Mechanical Systems

IX HVAC



All heating units should be professionally serviced prior to the start of each heating season to maintain efficiency and for personal safety. Air conditioning units should be professionally serviced prior to the start of each cooling season for best performance and exterior compressor units should be left uncovered in the winter months to avoid excess moisture build-up and premature corrosion. Any space heaters present in the building *should always be operated in full accordance with the manufacturer's recommended procedures and safety precautions to prevent oxygen depletion and possible build-up of carbon monoxide.*

A. HEATING EQUIPMENT *Includes Flue Piping, Blowers, Pumps, Safety Valves, Combustion Air, etc.*

Unit	Brand	Type	BTU Input	Fuel	Est. Age	Reviewed	N/A	*Comments
	Rheem.	Forced-Air.	100,000.	Natural Gas.	8-12.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
	Rheem.	Forced-Air.	80,000.	Natural Gas.	8-12.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

All heating and cooling equipment should be serviced annually by a qualified contractor.

A unit marked "Reviewed" means that the unit operated normally at the time of the inspection. Proper operation of all units should be verified prior to closing. A conclusive evaluation of a *furnace heat exchanger* or a boiler combustion chamber requires dismantling of the unit, including burner removal, and is, therefore, beyond the scope of this inspection. We do not report on, nor can we be held responsible for, these items.

B. COOLING EQUIPMENT *Unit(s) not tested unless the outside temperature is at least 60 degrees for the last 24 hours.*

Unit	Brand	Type	Capacity	Fuel	Est. Age	Reviewed	N/A	*Comments
	Rheem.	Forced-Air, The home had a package air-conditioning system. Package systems are those in which all components of the cooling system are installed within one cabinet.	5.0 tons.	Electric.	8-12.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
	Rheem.	Forced-Air, The home had a package air-conditioning system. Package systems are those in which all components of the cooling system are installed within one cabinet.	3.0 tons.	Electric.	8-12.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

A unit marked "Reviewed" means that the unit operated normally at the time of the inspection. Proper operation of all units should be re-verified by the client prior to closing.

	Reviewed	N/A	*Comments
Ductwork: (Visible Condition Only)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Comments

*Items marked 'Comments' usually require attention - See Report Explanations

HEATING Unit 1

The heating equipment does not appear to have had recent maintenance. Heat exchanger defects may be hidden by dirt, soot or corrosion. Proper cleaning and further evaluation by a qualified heating contractor is recommended.

The gas was shut off at the time of the inspection, and the unit could not be verified for proper operation. Recommend checking with the current owner as to why it was shut off and having the operation of the unit verified.

Forced Air Filter: The air filter(s) was dirty at the time of the inspection. Dirty filters restrict air flow which may cause short cycling and can shorten the life of the heating equipment. Recommend changing (or cleaning, if a reusable type) the filter in accordance with the filter manufacturer's and the heating equipment manufacturer's directions.



HEATING Unit 2

The heating equipment does not appear to have had recent maintenance. Heat exchanger defects may be hidden by dirt, soot or corrosion. Proper cleaning and further evaluation by a qualified heating contractor is recommended.

The gas was shut off at the time of the inspection, and the unit could not be verified for proper operation. Recommend checking with the current owner as to why it was shut off and having the operation of the unit verified.

Forced Air Filter: The air filter(s) was dirty at the time of the inspection. Dirty filters restrict air flow which may cause short cycling and can shorten the life of the heating equipment. Recommend changing (or cleaning, if a reusable type) the filter in accordance with the filter manufacturer's and the heating equipment manufacturer's directions.

The air filter(s) was loose. The poor fit may allow dust and hair to accumulate and restrict air flow, which in turn may cause short cycling and can shorten the life of the heating equipment. Recommend correction by a qualified heating contractor so that the filter fits properly.

The air return door in the master bedroom appeared to be bent and did not fit properly in the frame. Recommend repair or replace by a qualified contractor.



COOLING Unit 1

Forced Air: The exterior compressor/condenser unit would benefit from professional maintenance. The unit should be kept clean for maximum performance and efficiency. Proper servicing by a qualified heating contractor is recommended.

COOLING Unit 2

Forced Air: The exterior compressor/condenser unit would benefit from professional maintenance. The unit should be kept clean for maximum performance and efficiency. Proper servicing by a qualified heating contractor is recommended.

Limitations

The inspector is not equipped to inspect furnace heat exchangers for evidence of cracks or holes, as this can only be done by dismantling the unit. This is beyond the scope of this inspection. Some furnaces are designed in such a way that inspection is almost impossible. The inspector can not light pilot lights. Safety devices are not tested by the inspector.

NOTE: Asbestos materials have been commonly used in heating systems.

Determining the presence of asbestos can ONLY be performed by laboratory testing and is beyond the scope of this inspection. Thermostats are not checked for calibration or timed functions. Adequacy, efficiency or the even distribution of air throughout a building cannot be addressed by a visual inspection. Electronic air cleaners, humidifiers and de-humidifiers are beyond the scope of this inspection. Have these systems evaluated by a qualified individual. The inspector does not perform pressure tests on coolant systems, therefore no representation is made regarding coolant charge or line integrity. Subjective judgment of system capacity is not a part of the inspection. Normal service and maintenance is recommended on a yearly basis. Determining the condition of oil tanks, whether exposed or buried, is beyond the scope of this inspection. Leaking oil tanks represent an environmental hazard which is sometimes costly to remedy.

There are several types of heating systems used throughout the country. The most common is the gas, forced air, furnace, which will be discussed. The **heat exchanger** is the most critical part of a furnace. It separates the air in the house from the flames and exhaust gases being generated in the furnace. A heat exchanger can fail in one of two ways: 1) it rusts through, or 2) it cracks. The result of either condition is the products of combustion escape into the air in your home. A crack or hole in the heat exchanger is usually not visible and typically will not be identified during a home inspection. Heat exchangers have an average life expectancy of fifteen to twenty five years. The cost of replacing a heat exchanger is almost as much as replacing the entire furnace. In most cases, the entire furnace is replaced.

Performing maintenance on a regular basis may increase the life span and help maintain the efficiency of your furnace.

- Check for any signs of corrosion, especially around flue pipes, humidifiers, and air conditioning coils.
- Listen for excessive noise.
- Consider an annual cleaning and service call from a qualified technician.

Filters

Conventional: There are several types of conventional air filters, each performs the same function- filtering the air before it travels into the furnace and out of the registers. Some are disposable while others you can clean. Most are rectangular and about 1" thick. Some manufacturers use a basket type filter that hangs in the blower compartment. Conventional filters are inexpensive and usually easy to replace.

Structural Elements

X FOUNDATION



Only the readily visible portions of the foundation and structure were observed. Foundation surfaces that are hidden behind finishes cannot be observed by the inspector. Defects may be present at hidden foundation areas that could allow water infiltration or may have been caused by structural movement. Some foundation cracking is typical of settlement and/or shrinkage and does not usually indicate a structural deficiency.

Type: Basement: Partially Finished.

Foundation Moisture Indications: Active Seepage/Moisture (See Comments Below)

		Reviewed	N/A	*Comments
Floor(s):	Basement: Concrete. Crawl Space: Dirt.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Columns: (Inspected Only Where Visible)	Not Fully Visible in the Basement: Hidden by Finishes. Concrete Block.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Beams: (Inspected Only Where Visible)	Not Fully Visible in the basement: Hidden by Finishes.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Floor Joists: (Inspected Only Where Visible)	Not Fully Visible: Hidden by Finishes.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Sub-Flooring: (Inspected Only Where Visible)	Oriented Strand Board (OSB), Not Fully Visible: Hidden by Finishes.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Foundation Material:	Visibility: The basement walls were partially covered with finishes. Moisture: Foundation walls were damp or wet at the time of the inspection.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Most foundation walls will have some amount of typical cracking. Cracking that is beyond "typical" will usually be discussed in the comments below. <u>Every crack or opening in the foundation wall (or floor) is a potential source for moisture entry.</u>				
Foundation Ventilation:	None in areas of the basement and Vents in the crawlspace.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

For full knowledge of water penetration or seepage, we strongly recommend you check with the current owner. Every Basement/Crawl Space has potential for water entry. There is no assurance/guarantee it will not occur.

Comments

*Items marked 'Comments' usually require attention - See Report Explanations

FLOOR(S)

The floor appeared to be heaved in the basement bedroom. However, the carpet covered the area and it was impossible to confirm if it was cracked or just uneven. This may be caused by settling of the foundation walls, underground plumbing, or other reasons. The floor usually has very little impact on the structure and the heaved areas of the floor may be corrected as desired.





COLUMNS



FLOOR JOIST





SUB-FLOORING





FOUNDATION WALLS

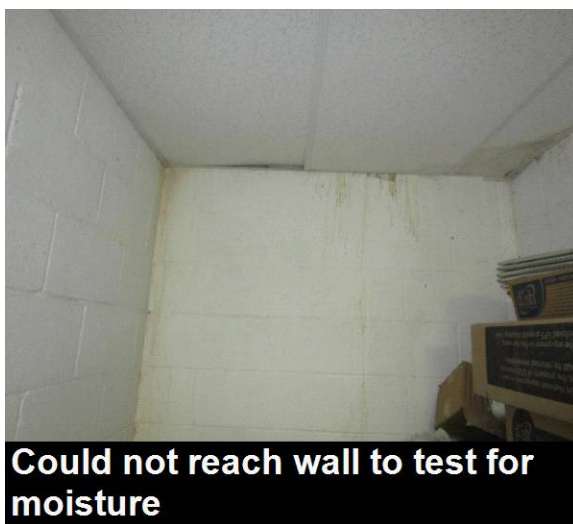
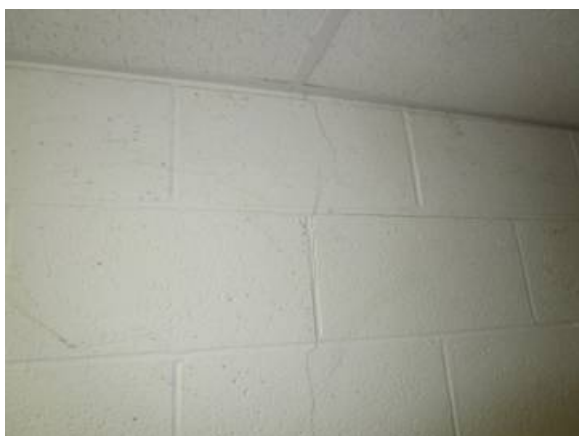
Dampness was noted several areas, as tested with a moisture meter. This can increase the risk of insect infestation, mildew, and rot. Recommend locating and correcting the source of the dampness, which may include improving exterior drainage and/or sealing of foundation cracks.

A dark material that could be mold was noted at several areas of the foundation wall. This is an indication of excess moisture, either from leaks or condensation/humidity. Identification and correction of the moisture source then proper removal of the dark material is recommended however, the actual presence of mold can only be determined by proper testing, which is not a part of this inspection.

A musty odor was noted, which usually indicates that chronic moisture has been present. It is recommended to determine and control the source of the moisture and also checking with the current owner for any information regarding possible moisture presence.

The proper operation of a dehumidifier is recommended in the areas that are not conditioned by the HVAC unit, especially in the warmer, humid months of spring and summer. This will help to alleviate higher humidity levels in the building.

The HVAC unit was off at the time of the inspection, which will cause the humidity level to increase. This could contribute to the musty odor and possible fungal growth. Recommend keeping the HVAC running to reduce the humidity level.



Could not reach wall to test for moisture



FOUNDATION VENTILATION

None: There was apparently no ventilation in areas of the basement. Adding proper foundation ventilation is recommended to help minimize moisture levels in the foundation area. High moisture levels can contribute to rotting, mold growth, bacteria and musty odors.

Proper water control reduces or eliminates water infiltration and provides for its removal.

Structural Elements

XI ATTIC



Method of Observation: Hallway, Viewed from Hatch with Limited View.

Access / Visibility Attic space(s) not walked due to blown-in insulation.

		Reviewed	N/A	*Comments
Water Penetration:	None Noted.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Venting of Attic (Mechanical and Passive)		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
C. Insulation:	Thickness in inches: 8-10 - Recommend Adding.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Roof Framing:	Joists & Rafters.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Roof Sheathing:	Oriented Strand Board (OSB)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Other:		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Section Revised:

GENERAL PROPERTY CIRCUMSTANCES

This inspection has focused on the major elements of the property. As noted, some items are only sample tested or partially reviewed. Additionally, this inspection may have been impeded by limited accessibility, especially in occupied homes. Therefore, please do not expect that every defect will be reported. Clients might anticipate and budget an amount not less than \$1000.00 to cover unforeseen and undiscovered defects and/or minor repairs. This inspection does not determine whether proper building permits have been obtained for work performed at this property prior to this inspection. We recommend that the client inquire with the current owner and the local building department as to the disposition of building permits, if any were required.

Comments:

INSULATION

Insulation appeared to be missing in some areas of the attic space(s). Recommend adding insulation to achieve a consistent total depth of 16 inches (the current standard) which will help to provide improved energy efficiency and cost savings.





ROOF FRAMING





ROOF DECKING



OTHER

Having proper ventilation in your attic will help prevent moisture damage to the structure, increase the life expectancy of the roofing, reduce energy consumption, and improve the living conditions below the attic.

The two main reasons for attic ventilation are to control heat and humidity. In the summer, the temperatures in a poorly ventilated attic can reach 150 degrees. Excessive heat can not only damage roofing materials but it can make the living area under the attic uncomfortable and difficult to cool. Humidity will naturally drift upward to the attic from several sources including; showers, clothes dryers, cooking, and even human breathing. Excessive humidity can cause damage to the roof structure, insulation, and interior surfaces.

The requirements for proper ventilation will vary depending on which part of the country you live in. The minimum recommendation is one square foot of free vent area for each 150 square foot of attic floor (if there is not a vapor barrier under the insulation). With a vapor barrier, you will need half of that amount or 1 - 300 feet. These standards are usually not met.

Adequate ventilation can usually be maintained with the use of louver vents in the gable ends of the home, ridge or box vents at the top of the roof, and soffit venting under the eaves.
