

# PROPERTY INSPECTION REPORT

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**12/26/18**

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## Report Summary

The summary below consists of potentially significant findings. These findings can be a safety hazard, a deficiency requiring a major expense to correct or items I would like to draw extra attention to. The summary is not a complete listing of all the findings in the report, and reflects the opinion of the inspector. Please review all pages of the report as the summary alone does not explain all of the issues. All repairs should be done by a licensed & bonded tradesman or qualified professional. I recommend obtaining a copy of all receipts, warranties and permits for the work done.

<b>Exterior</b>		
Page 9 Item: 6	Soffits	Deteriorated soffit and/or fascia material was noted around the home. This may allow water damage to the underlying surface structure and can encourage wood destroying insect infestation. Back Side of Garage
Page 10 Item: 10	Patio / Sidewalk	The back sidewalk had enough of a step to be considered a trip hazard. Correction is recommended for safety.
Page 11 Item: 11	Deck	The ledger board for the deck appeared to be nailed to the house. The ledger board is an important structural component that should be properly attached to the main house (nails may allow it to pull away from the house) which could mean the use of special connector. Recommend further evaluation and correction by a qualified contractor.
Page 11 Item: 12	Stoop(s)	The stairs/steps were missing railing(s) at drop-off(s) that are higher than recommended for safety. The installation of proper handrails by a qualified contractor is recommended.
Page 12 Item: 14	Retaining Wall(s)	Possible structural movement was noted at and around the retaining wall(s). Further evaluation by a qualified contractor is recommended to determine what may be causing the movement and as to how repairs should be made.
Page 12 Item: 15	Clothes Dryer Vent	Visible clogging or debris was noted in the exterior portion of the bathroom vent. Professional cleaning is recommended. Clogged vents can be a fire hazard.
<b>Roof</b>		
Page 15 Item: 3	Flashing	Open or damaged areas of flashing, with repair recommended, were noted: at the chimney(s)
<b>Rooms</b>		

Page 26 Item: 9	Fireplace Comments	<p>Excessive build-up of soot or creosote was observed in the flue(s) and/or fireplace(s). Creosote is a fire hazard. Cleaning and inspection by a qualified chimney sweep is recommended. Flue or firebox defects may be hidden by soot and creosote.</p> <p>The flue damper(s) did not operate correctly. Recommend further evaluation and repair by a qualified contractor.</p>
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## Master Bathroom

Page 28 Item: 7	Sink Drain	<p>The P-trap and/or or waste pipe under the sink was a ribbed (corrugated) non-listed type. This will tend to trap hair and scum and become clogged. Recommend replacement with a proper, smooth trap by a qualified plumber.</p> <p>The mechanical drain stopper was not functional or out of adjustment, correction is recommended.</p>
Page 28 Item: 9	Toilet	<p>The toilet fixture appeared to be loose at the floor. This condition can cause the toilet to leak at the base, potentially causing damaged and/or rotted flooring. Proper correction by a qualified contractor is recommended.</p> <p>A crack was observed in the toilet base. Replacement recommended by a qualified contractor if it is leaking, otherwise replace as desired.</p>

## Powder Room

Page 30 Item: 3	Sink Drain	<ul style="list-style-type: none"> <li>The P-trap and/or or waste pipe under the sink was a ribbed (corrugated) non-listed type. This will tend to trap hair and scum and become clogged. Recommend replacement with a proper, smooth trap by a qualified plumber.</li> </ul>
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## Kitchen

Page 35 Item: 13	Disposal	<ul style="list-style-type: none"> <li>Loose electrical wiring was observed at disposal: Loose electric under a disposal may fail to provide the proper grounding or bonding to safely operated the appliance. Repairs are recommended. See the electrical page of the report under "Branch Circuit Wiring" for more information.</li> </ul>
Page 36 Item: 16	Clothes Dryer	<ul style="list-style-type: none"> <li>The clothes dryer vent was of a plastic or foil material that may be a fire hazard. Recommend replacement of the vent material with a proper type by a qualified appliance technician.</li> </ul>

## Plumbing

Page 37 Item: 2	Water Piping	<p>The valve handles at the water meter were loose. These valve handles tend to strip if loose resulting in a bad valve or possible leak. Proper replacement of all missing valve handles is recommended.</p>
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Page 38 Item: 5	Flood Control Sump Pump	<p>The sump pump is plugged into a normal outlet and not a <b>GFCI</b> protected outlet. We recommend to have sump pumps plugged into GFCI outlets. Installation by a qualified professional is recommended.</p> <p>The sump pump discharge pipe is loose or not fully supported. This will cause excessive noise or damage to the system. Repairs are recommended.</p>
Page 39 Item: 7	Hose Bibb(s)	<p>The exterior garden hose faucets (hose bibbs) was not a frost-proof type. Damage may occur in colder weather if the water in the garden hose faucet(s) freezes. Recommend checking with the current owner as to the location of an interior valve so the garden hose faucet(s) may be shut off and drained. Installation of frost-proof garden hose faucets by a licensed plumber may also be considered.</p>

### Water Heater

Page 41 Item: 1	Water Heater Comments	<p>The temperature and pressure relief valve was not properly piped. In an emergency, this valve will discharge scalding water. Recommend installing piping so that the valve will discharge to a point about 6 inches from the floor.</p> <p>The flue appeared to be backpitched (had negative rise or was dead level) which does not promote the proper passage of combustion products into the chimney. This could allow potentially hazardous flue gas and carbon monoxide to enter the building. Proper correction by a qualified heating or plumbing contractor is recommended.</p> <p>This equipment was near the end of or beyond its normal life expectancy. Budgeting for its eventual replacement is recommended.</p>
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### Cooling Unit

Page 45 Item: 1	Cooling Conditions	<p>The air conditioning equipment does not appear to have had recent maintenance. Heat exchanger defects may be hidden by dirt, debris or corrosion. Proper cleaning and further evaluation by a qualified heating contractor is recommended.</p>
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### Electrical System

Page 46 Item: 3	Outlets	<p>One outlet at the bottom of the basement steps appeared to be non-functional when tested. The outlet(s) may be controlled by a wall switch that was not located, or may be dead for other reasons. Recommend checking with the current owner and/or further evaluation by a qualified electrician.</p>
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Page 47 Item: 4	Light Fixtures	<p>Multiple loose electrical/lighting fixture(s) were observed on the exterior (Soffits/Flood) which may be a safety hazard. Recommend proper repair or replacement by a qualified electrician.</p> <p>One electrical/lighting fixture in the hallway to the garage did not operate at the time of the inspection using normal controls. This often indicates that light bulbs may be burned out. Recommend checking with the current owner and verifying operation before the closing.</p>
Page 48 Item: 5	Ground Fault Circuit Interrupters	The Ground Fault Circuit Interrupter (GFCI) outlet did not turn off when the test buttons were operated. These devices reduce the risk of electrocution in wet areas. Recommend replacement of all defective GFCI outlets by a qualified electrician to restore protection. These were identified as being deficient in the: Master Bathroom and Exterior at the Deck.
Page 48 Item: 6	Smoke Detectors	All of the smoke detectors appeared to be older. The sensitivity of a smoke detector tends to diminish with age and replacement of all older units with new units is recommended for personal safety.
Page 48 Item: 7	Switches	Two loose switches were noted, one in the dining room and one in the family room. These may be difficult to operate and may also present a shock hazard. Recommend all switches be properly secured by a qualified electrician.

## Foundation

Page 52 Item: 8	Foundation Walls	<ul style="list-style-type: none"> <li>• Staining (apparently from moisture), was observed on areas of the foundation walls which was DRY when tested with a moisture meter. Recommend monitoring of the staining and/or checking with the current owner for further information. Also recommend determination and correction of the source of the staining if still active.</li> <li>• Areas of possible structural movement of the foundation wall(s) were noted. Further evaluation by a licensed structural engineer and/or a qualified contractor is recommended.</li> </ul>
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## Hall Bathroom

Page 53 Item: 3	Tub Drain	The tub appeared to drain slowly. There are several things that can cause this, including the accumulation of hair and soap scum in the drain piping. Drain opening chemicals can sometimes help, but often provide only temporary relief. Further review and correction by a qualified plumber is recommended.
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Page 54 Item: 7	Sink Drain	<p>The P-trap and/or or waste pipe under the right sink was a ribbed (corrugated) non-listed type. This will tend to trap hair and scum and become clogged. Recommend replacement with a proper, smooth trap by a qualified plumber.</p> <p>Leaking was noted under the right sink from the waste line and/or other piping. Correction by a qualified plumber is recommended.</p> <p>The mechanical drain stopper at both sinks was not functional or out of adjustment, correction is recommended.</p>
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## General Information

### What We Inspect:

A Home Inspection is a non-invasive visual examination of a residential dwelling, performed for a fee, which is designed to identify observed material defects within specific components of said dwelling. Components may include any combination of mechanical, structural, electrical, plumbing, or other essential systems or portions of the home, as identified and agreed to by the Client and Inspector, prior to the inspection process.

A home inspection is intended to assist in evaluation of the overall condition of the dwelling. The inspection is based on observation of the visible and apparent condition of the structure and its components on the date of the inspection and not the prediction of future conditions.

A home inspection will not reveal every concern that exists or ever could exist, but only those material defects observed on the day of the inspection.

A material defect is a condition with a residential real property or any portion of it that would have a significant adverse impact on the value of the real property or that involves an unreasonable risk to people on the property. The fact that a structural element, system or subsystem is near, at or beyond the end of the normal useful life of such a structural element, system or subsystem is not by itself a material defect.

An Inspection report shall describe and identify in written format the inspected systems, structures, and components of the dwelling and shall identify material defects observed. Inspection reports may contain recommendations regarding conditions reported or recommendations for correction, monitoring or further evaluation by professionals, but this is not required.

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### 1. Carbon Monoxide

- The presence of any combustion device within the dwelling justifies the installation of a carbon monoxide detector. Note that even if such a device or devices are installed at the time of the inspection, these items do not necessarily convey with the property. Many sellers will remove these devices for installation in their new dwelling. It is advised to consider installing carbon monoxide detectors as needed once you take possession. Follow the manufacturer guidelines as to where to install the unit(s).



## Exterior

This section describes the exterior wall coverings and trim. Inspectors are required to inspect the exterior wall coverings, flashing, trim, all exterior doors, the stoops, steps porches and their associated railings, any attached decks and balconies and eaves, soffits and fascias accessible from ground level.

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### 1. Prefatory Comments

General:

Because of the visual nature of this home inspection, it is not possible to inspect or report on conditions in areas that are inaccessible, obstructed or concealed from view. Your inspector can only address those areas that are readily accessible at the time of the inspection. The inspector is not required, and should not be expected, to move furnishings or other items during the inspection, disassemble equipment or open wall coverings. A home inspection is a "snapshot" of the home at the time of the inspection; it is designed to educate a buyer about the home, not to replace the obligation of a home seller to disclose known defects. A home inspection is not a guarantee or warranty of the condition of the home or property; neither is it a guarantee that conditions will not change in the future. We strongly recommended that the buyer perform a thorough pre-closing walk-through inspection in order to confirm the condition of the house, systems and appliances therein, and to check areas that may have been obstructed from view at the time of the home inspection.

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### 2. General Elevation View(s)



General View of Exterior Elevation



General View of Exterior Elevation



General View of Exterior Elevation



General View of Exterior Elevation



General View of Exterior Elevation



General View of Exterior Elevation



## Exterior Continued

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### 3. Exterior Wall(s)

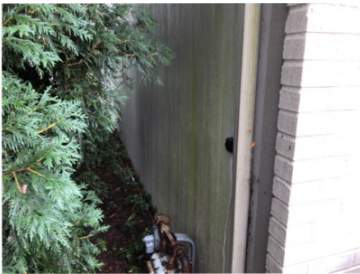
Type:

- Brick
- Wood Composite (Fiberboard)

Observations:

Portion(s) of the siding were noted to have some amount of mildew and/or algae growth. This is not unusual in exterior areas that don't get sunlight exposure. It is usually just a cosmetic issue, but can contribute to accelerated deterioration and should be removed to extend the expected life of the siding.

Failing paint or stain coatings were observed on areas of the wood siding. If not corrected, deterioration of the bare wood could occur. Proper refinishing and caulking is recommended. --



Algae Growth



Minor Paint Failure



Loose/Damaged Siding



Algae Growth

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### 4. Exterior Foundation

Observations:

Common cracking was present on the exterior and visible portions of the foundation. If there is a basement or a crawl space, additional notes may be present in that section of this report.

## Exterior Continued



Common Foundation Crack(s)



Common Foundation Crack(s)



Common Foundation Crack(s)

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### 5. Trim

Observations:

The exterior trim was found to have exhibited moderate general deterioration typical for the age of the home or material used. Any deficiencies will be listed in this section.

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### 6. Soffits

Observations:

Deteriorated soffit and/or fascia material was noted around the home. This may allow water damage to the underlying surface structure and can encourage wood destroying insect infestation. Back Side of Garage



Paint Failure/Fading



Deteriorated Soffits and/or Facia

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### 7. Painting & Caulking

Observations:

The exterior paint and/or caulking was found to have exhibited moderate general deterioration typical for the age of the home or material used. Any deficiencies will be listed in this section.

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### 8. Exterior Door(s)

Observations:

The exterior door(s) were found to have exhibited moderate general deterioration typical for the age of the home or material used. Any deficiencies will be listed in this section.

## Exterior Continued

### 9. Driveway

Observations:

The driveway was found to have exhibited moderate general deterioration typical for the age of the home or material used. Any deficiencies will be listed in this section.



General View of the Driveway



General View of the Driveway

### 10. Patio / Sidewalk

Observations:

The back concrete walkway has settled toward the building which could allow storm water to accumulate along the foundation leaving the potential for water infiltration into the structure. Proper correction of settled walkway(s) by a qualified contractor is recommended.

The patio was found to have exhibited moderate general deterioration typical for the age of the home or material used. Any deficiencies will be listed in this section.

The back sidewalk had enough of a step to be considered a trip hazard. Correction is recommended for safety.



Slight Settlement Towards Home



Trip Hazard(s)



General View of Patio

### 11. Deck

Observations:

The ledger board for the deck appeared to be nailed to the house. The ledger board is an important structural component that should be properly attached to the main house (nails may allow it to pull away from the house) which could mean the use of special connector. Recommend further evaluation and correction by a qualified contractor.

## Exterior Continued



Nailed Ledger



Nailed Ledger



General View of the Deck

### 12. Stoop(s)

#### Observations:

Loose pavers or bricks were noted at the Back stoop. This can be a tripping hazard and proper reinstallation of all loose pavers or bricks is recommended for safety.

The stairs/steps were missing railing(s) at drop-off(s) that are higher than recommended for safety. The installation of proper handrails by a qualified contractor is recommended.



Loose Step Pavers

### 13. Slope/Grading

#### Observations:

The grading and slope was found to have exhibited moderate general condition typical for the age of the home or material used. Any deficiencies will be listed in this section.

The property would benefit with some re-grading of areas of the front yard to prevent water from standing in the yard.



## Exterior Continued



Low Spot



General View of Drainage



General View of Drainage

### 14. Retaining Wall(s)

Observations:

Possible structural movement was noted at and around the retaining wall(s). Further evaluation by a qualified contractor is recommended to determine what may be causing the movement and as to how repairs should be made.



General View of Retaining Wall



Leaning Retaining Wall

### 15. Clothes Dryer Vent

Observations:

Visible clogging or debris was noted in the exterior portion of the bathroom vent. Professional cleaning is recommended. Clogged vents can be a fire hazard.



Bird Nesting (Bathroom Vent)

## Exterior Continued

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### 16. Trees / Vegetation

Observations:

Recommend keeping trees, shrubs and/or vines cut back away from roof areas and the exterior of the building. At least 8 to 12 inches of clear space between the structure and any vegetation is recommended to promote proper air circulation and help prevent damage from moisture and insects.



Keep Trees Trimmed



Keep Trees Trimmed



## Roof

As with all areas of the house, we recommend that you carefully examine the roof immediately prior to closing the deal. Note that walking on a roof voids some manufacturer's warranties. Adequate attic ventilation, solar / wind exposure, and organic debris all affect the life expectancy of a roof. Always ask the seller about the age and history of the roof. On any home that is over 3 years old, experts recommend that you obtain a roof certification from an established local roofing company to determine its serviceability and the number of layers on the roof. We certainly recommend this for any roof over 5 years of age. Metal roofs in snow areas often do not have gutters and downspouts, as there is a concern that snow or ice cascading off the roof may tear gutters from the house. Likewise, be advised that such cascading may cause personal injury or even death. If this house has a metal roof, consult with qualified roofers or contractors regarding the advisability of installing a damming feature which may limit the size and amount of snow / ice sliding from the roof.

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### 1. Roofing Details

Specs:

- Number of Layers Readily Visible: 1
- Estimated Age (Range in Years): 1-5
- Roofing Style: Gable
- Roofing Surface Material(s): Asphalt Fiberglass Shingles

Observation Method:

- The roof was not walked. However, it was partially viewed from the ground with binoculars. Possible injury to the inspector due to difficult access or damage to the roofing materials precluded walking on the roof. The roof was not walked on and the evaluation is limited. This type of viewing may be in conjunction with other viewing methods.
  - (Raining During Inspection)
- 

### 2. Surface Material(s)



General View of Roof



General View of Roof



General View of Roof

## Roof Continued



General View of Roof



General View of Roof



General View of Roof



General View of Roof



General View of Roof

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### 3. Flashing

Observations:

Open or damaged areas of flashing, with repair recommended, were noted: at the chimney(s)



Open Seam(s)

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### 4. Gutters & Downspouts

Observations:

The gutters and/or downspouts were noted to be loose or separated on the Back side of the home. This could contribute to deterioration of the home's exterior finishes, landscaping and even foundation seepage. Repairs to all loose and separated sections of the gutter system is recommended.

## Roof Continued



Loose Downspout

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### 5. Vents

Observations:

The vents were found to have typical to moderate general deterioration, typical for the age of the home or material used. Any deficiencies will be listed in this section.

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### 6. Chimney(s)

Observations:

This inspection is limited to the visible sections of the chimney. The interiors of chimney flues are not fully visible and therefore cannot be thoroughly inspected. I inspected the visible sections of the chimney, and only those visible portions are represented in this report. A chimney specialist can provide a more comprehensive inspection of the flues and any other inaccessible portions. It is always advisable that the chimney be professionally cleaned and inspected before use. Chimney specialists, as well as some other contractors, are typically called when someone has a problem that needs correction. This being anticipated, contractors generally assume that you are anticipating that work will be needed. Please be sure to explain to the chimney specialist that you are requesting an inspection and evaluation of the chimney and its ability to function properly, and are not requesting a proposal for work. This will probably require an inspection fee to compensate for the contractor's time. More information about the care and operation of your chimney and/or fireplace can be obtained by contacting "The Chimney Safety Institute of America" at their web site: [www.csia.org](http://www.csia.org).



General View of the Chimney



General View of the Chimney

## Attic

This report describes the method used to inspect any accessible attics; and describes the insulation and vapor retarders used in unfinished spaces when readily accessible and the absence of insulation in unfinished spaces at conditioned surfaces. Inspectors are required to inspect insulation and vapor retarders in unfinished spaces when accessible and passive/mechanical ventilation of attic areas, if present.

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### 1. Access / Visibility

Observation Method:

- Hallway Viewed from Hatch with Limited View

Visibility:

The attic space was not walked due to blown-in insulation covering any element safe enough to stand on.

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### 2. Water Penetration

Observations:

None Noted

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### 3. Ventilation

Observations:

The conditions in the attic provide indication that the ventilation is satisfactory and functioning as intended. Any deviations to this would be listed below.

The attic fan appeared to be operating normally during the inspection. Please periodically monitor to ensure it's continued operation. The attic fan helps to circulate the air throughout the attic space which helps keep the space dry and from excessive heat build-up.

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### 4. Insulation

Insulation Material:

- Thickness in Inches: 15+
- Material: Fiberglass

Observations:

The conditions in the attic provide indication that the insulation is satisfactory and functioning as intended. Any deviations to this would be listed below.



## Attic Continued



General View of Insulation Levels



General View of Insulation Levels



General View of Insulation Levels

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### 5. Roof Framing

Framing Type:

- Joists & Rafters

Observations:

The visible structural members in the attic space appear to be satisfactory.



General View of Framing Material(s)

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### 6. Roof Sheathing

Sheathing Type:

- Plywood

Observations:

The conditions in the attic provide indication that the roof sheathing is satisfactory and functioning as intended. Any deviations to this would be listed below.

## Attic Continued



General View of Roof Sheathing



## Garage

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### 1. Garage Type

Materials:

Attached

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### 2. Garage Exterior

Siding Type:

- Same as House
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### 3. Roof Surface

Surface Material:

- Same as House
- 

### 4. Garage Interior

Observations:

The garage interior was found to be in typical condition. Any deviations to typical will be listed in this section.

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### 5. Automotive Door(s)

Door Material:

- Metal

Observations:

Recommend installing new exterior weather seals to the overhead garage door opening(s) to help keep the garage interior dry and draft free.

Denting and/or damage was noted on the garage door. The integrity of the door(s) has not been compromised in these areas and the door(s) will still function as intended.



Dented/Damaged Overhead Garage Door



Damaged Weather Guard

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### 6. Automatic Door Opener(s)

Observations:

- The automatic door opener operated satisfactorily during the inspection and was found to be in typical condition. Any deviations to typical will be listed in this section.

## Garage Continued

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### 7. Service Door(s)

Observations:

The door threshold was loose. Recommend adjustment and/or repair.



Loose Threshold

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### 8. Windows

Observations:

Insulated glass is usually two panes of glass with dry air or an inert gas between the pieces of glass, and sealed to maintain the air or gas. When the seal fails, air and moisture will enter and if the inside to outside temperature is significantly different, the moisture vapors between the panes of glass will turn to liquid and stain the inside of the glass. In most cases, this staining is visible; however, when the failure is in its early stages it may be difficult to see the stains. Reflection of light or the sun may also make these failures difficult or impossible to see. In later stages of failure, these stains are relatively easy to see. Failed seals reduce the insulating qualities of the glass very little. The appearance of the glass may be a larger concern, especially if the location is prominent and somewhat of a focal point. The solution to failed insulated glass seals is replacement of the panes. However, urgency is dictated more by the concerns with appearance than lost insulating qualities. It is possible that I may find a seal failure in one window and not see it in another for the above reasons. If any are found, do a careful check of all windows on your final walk through.

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### 9. Floor

Observations:

Some typical cracking of the floor was observed, which does not usually indicate a structural deficiency: monitoring of the cracking is recommended.



Typical Cracking

## Garage Continued

## Rooms

The Interior section covers areas of the house that are not considered part of the Bathrooms, Bedrooms, Kitchen or areas covered elsewhere in the report. Interior areas usually consist of hallways, foyer, and other open areas. Within these areas the inspector is performing a visual inspection and will report visible damage, wear and tear, and moisture problems if seen. Personal items in the structure may prevent the inspector from viewing all areas on the interior.

The inspector does not usually test for mold or other hazardous materials. A qualified expert should be consulted if you would like further testing.

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### 1. Location(s)

Observation Scope:

All rooms throughout the home are referenced in this section. Any comment(s) or defects associated with a particular room will be identified by room.

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### 2. Ceiling(s)

Observations:

Cracks were observed that are common to drywall and plaster ceilings. These are usually cosmetic and may be repaired as desired however, monitoring of all cracking for possible movement is recommended. Some cracks will reoccur as a result of normal expansion and contraction from changing indoor humidity levels and seasonal changes.

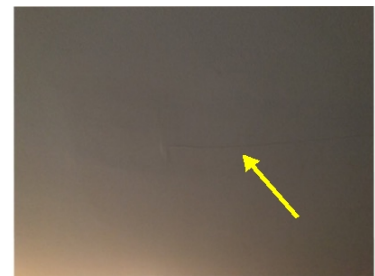
Staining (apparently from moisture) was observed on areas of the ceiling(s): The staining in these areas was DRY when tested with a moisture meter. Recommend monitoring of the staining and/or checking with the current owner. It is also recommended to determine and correct the source of the staining if still active. 2nd Floor Front Bedroom



Dry Staining (Front Bedroom)



Dry Staining (Front Bedroom)



Typical Cracking

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### 3. Wall(s)

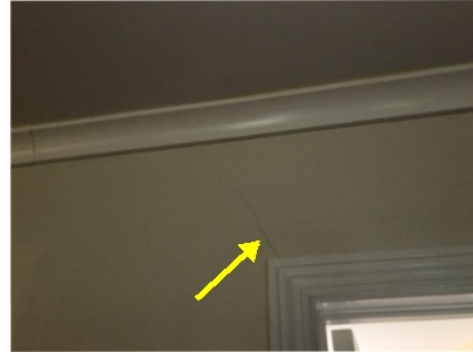
Observations:

Cracks were observed that are common to drywall and plaster walls. These are usually cosmetic and may be repaired as desired however, monitoring of all cracking for possible movement is recommended. Some cracks will re-occur as a result of normal expansion and contraction from changing indoor humidity levels and seasonal changes.

## Rooms Continued



Typical Settlement Cracking



Typical Cracking

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### 4. Window(s)

#### Observations:

The interior windows were found to have exhibited moderate general deterioration or wear, typical for the age of the home or material used. Any deficiencies will be listed in this section.

Some windows were found to be missing the operating cranks therefore, could not be opened or tested. Recommend checking with the current owner about the inventory of the cranks and testing the affected windows before the closing.



Missing Window Cranks

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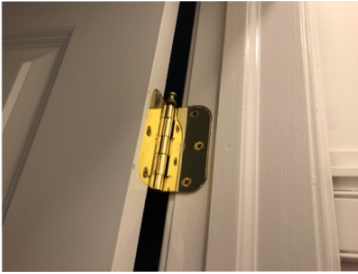
### 5. Door(s)

#### Observations:

Some of the interior doors were loose when tested. Recommend properly tightening the hinges and hardware for proper operation.

Some of the interior door hardware components (handles, locks or hinges) were found to be loose, missing or damaged. Proper repair or replacement of these components is recommended for ease of operation.

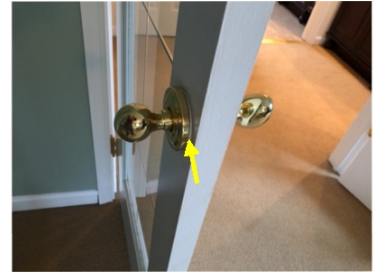
## Rooms Continued



Loose Hinge(s)



Misaligned Door Guide



Loose Hardware

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### 6. Floor(s)

Observations:

Cracked floor tiles were noted in some areas. This is usually a cosmetic issue caused by the sub-flooring being too flexible for tile. Correction may involve stiffening the sub-flooring to prevent new floor tiles from cracking.



Cracked Tile

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### 7. Stairs

Observations:

The interior stairs were found to have wear typical for the age of the home or material used. Any deficiencies will be listed in this section.

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### 8. Heat Source(s) Present

Observations:

A heat source was found in each habitable room throughout the home. By design some interior rooms, not located on exterior walls, may not have heat sources. Any deficiencies would be listed below.



## Rooms Continued

### 9. Fireplace Comments

#### Materials:

- Prefabricated: The lifespan of a prefabricated fireplace is similar to other major appliances such as a range or refrigerator. Although they can last for as long as 20-30 years when well maintained, most masonry chimneys can last for generations. Unlike most masonry chimneys, prefabricated chimneys tend to come with warranties. For prospective buyers, this is seen as a positive that protects their purchase if anything goes wrong. While a warranty can help in the event of serious equipment failure, most have very rigid terms and conditions that exclude a variety of damages; this is especially true of damage caused by weather conditions, which is typically not covered under warranty. Often the main indicator of the lifespan of your prefabricated fireplace is use. Fireplaces that are used more frequently will deteriorate faster than those that are rarely used. Likewise, how often the fireplace is serviced or maintained can also impact how long it can last. We strongly recommend periodic professional review by a qualified chimney professional. Factory Built Fireplace Safety Tips. These units have a very high safety record, as they are put through a series of tests during the building process. Here are some do's and don'ts that will help keep your household safe during the operation of the unit: Do not use flammable liquids to start the fire. Never put gasoline, lighter fluid or any other flammable liquid into the fireplace. Open the damper before lighting the fire so that you have proper air flow from the very beginning. Do not put too much wood into the fireplace at once. Do not burn an excessive amount of paper in the fireplace. Close the screen during normal operation to prevent a harmful situation for your home, children, or pets.

#### Materials:

- The predominant material used for the flue and construction of the fireplace is masonry.

#### Observations:

Excessive build-up of soot or creosote was observed in the flue(s) and/or fireplace(s). Creosote is a fire hazard. Cleaning and inspection by a qualified chimney sweep is recommended. Flue or firebox defects may be hidden by soot and creosote.

The flue damper(s) did not operate correctly. Recommend further evaluation and repair by a qualified contractor.



General View of the Fireplace



Damper Adjustment/Damage

## Master Bathroom

Bathrooms can consist of many features from jacuzzi tubs and showers to toilets and bidets. Because of all the plumbing involved it is an important area of the house to look over. Moisture in the air and leaks can cause mildew, wallpaper and paint to peel, and other problems. The home inspector will identify as many issues as possible but some problems may be undetectable due to problems within the walls or under the flooring..

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### 1. Location

Materials:

2nd Floor

Master

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### 2. Bathtub (Includes Wall/Tile)

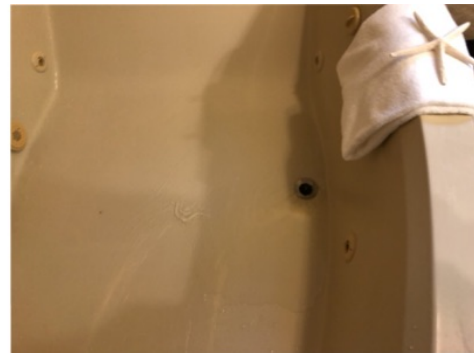
The bathtub was found to have exhibited moderate general deterioration typical for the age of the home or material used. Any deficiencies will be listed in this section.

The whirlpool tub was not tested due to the tub stopper missing. Recommend the stopper be repaired and the tub pump motor be reviewed and tested prior to closing.

A whirlpool jet tub is installed in this home. It is important not to operate this tub without the tub being properly filled with water. Many of these tubs require water over the jet line to keep the water from spraying the entire room with water. Since these tubs require electricity to operate the motors these tubs also require **GFCI** protection.



General View of Bathtub



Missing Drain Stop

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### 3. Tub Drain

The mechanical drain stopper was not functional or out of adjustment, correction is recommended.

---

### 4. Tub Faucet

The bathtub faucet was found to have exhibited moderate general deterioration typical for the age of the home or material used. Any deficiencies will be listed in this section.

---

### 5. Shower Head

The shower head was found to have exhibited moderate general deterioration typical for the age of the home or material used. Any deficiencies will be listed in this section.

## Master Bathroom Continued

### 6. Sink/Vanity

The sink/vanity was found to have exhibited moderate general deterioration typical for the age of the home or material used. Any deficiencies will be listed in this section.

### 7. Sink Drain

The P-trap and/or or waste pipe under the sink was a ribbed (corrugated) non-listed type. This will tend to trap hair and scum and become clogged. Recommend replacement with a proper, smooth trap by a qualified plumber.

The mechanical drain stopper was not functional or out of adjustment, correction is recommended.



Ribbed Drain Pipe (Left Sink)



Ribbed Drain Pipe (Left Sink)

### 8. Sink Faucet

The sink faucet was found to have exhibited moderate general deterioration typical for the age of the home or material used. Any deficiencies will be listed in this section.

### 9. Toilet

The toilet fixture appeared to be loose at the floor. This condition can cause the toilet to leak at the base, potentially causing damaged and/or rotted flooring. Proper correction by a qualified contractor is recommended.

A crack was observed in the toilet base. Replacement recommended by a qualified contractor if it is leaking, otherwise replace as desired.



Loose Toilet



Cracked Toilet

## Master Bathroom Continued

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### 10. Venting

Exhaust fan maintenance recommended: Suggest periodically cleaning the exhaust fan intake grill housing to assure good exhaust of the moisture laden air.



Dirty Fan

---

### 11. Floor

The floor was found to have exhibited moderate general deterioration typical for the age of the home or material used. Any deficiencies will be listed in this section.

## Powder Room

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### 1. Location

Materials:

1st Floor

Powder

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### 2. Sink/Vanity

- The sink and/or vanity base cabinet was loose. Recommend properly attaching these tightly to the wall for safety and to prevent leaks from developing.

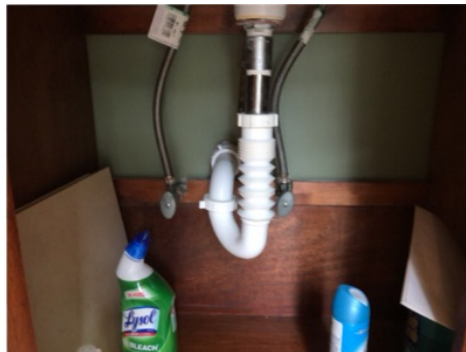


Loose Vanity

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### 3. Sink Drain

- The P-trap and/or or waste pipe under the sink was a ribbed (corrugated) non-listed type. This will tend to trap hair and scum and become clogged. Recommend replacement with a proper, smooth trap by a qualified plumber.



Ribbed Drain Pipe

---

### 4. Sink Faucet

- The sink faucet was found to have exhibited moderate general deterioration typical for the age of the home or material used. Any deficiencies will be listed in this section.
- 

### 5. Toilet

- The toilet was found to have exhibited moderate general deterioration typical for the age of the home or material used. Any deficiencies will be listed in this section.

## **Powder Room Continued**

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### **6. Venting**

- The venting was found to have exhibited moderate general deterioration typical for the age of the home or material used. Any deficiencies will be listed in this section.
- 

### **7. Floor**

- The floor was found to have exhibited moderate general deterioration typical for the age of the home or material used. Any deficiencies will be listed in this section.



## Kitchen

The kitchen is used for food preparation and often for entertainment. Kitchens typically include a stove, dishwasher, sink and other appliances.

---

### 1. General Kitchen View

Observations:

The kitchen appliances, fixtures and structural components were reviewed during this inspection under the conditions noted in the Standard Inspection Agreement. During this review, no visible signs of defects, leaks, or other issues were discovered unless noted in the sub sections below.

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### 2. Sink Basin

- The kitchen sink was free of visible defects other than the normal wear.
- 

### 3. Sink Drain

- The kitchen sink drain was free of visible defects other than the normal wear.



General View of Sink Drain

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### 4. Sink Faucet

- The kitchen sink faucet was free of visible defects other than the normal wear.
- 

### 5. Countertop(s)

- The kitchen counter tops were found to have only moderate general deterioration or wear typical for the age of the home or material used. This does not include any cosmetic issues, which fall beyond the scope of this inspection. Any deficiencies will be listed in this section.
- 

### 6. Cabinet(s)

- Loose wall cabinet top was observed in the family room which is potentially dangerous as the cabinet(s) could fall from the wall. Proper repair by a qualified contractor is recommended.

## Kitchen Continued



Loose Cabinet Top (Family Room)

---

### 7. Floor(s)

- The kitchen floors were found to have exhibited moderate general deterioration or wear typical for the age of the home or material used. This does not include any cosmetic issues, which fall beyond the scope of this inspection. Any deficiencies will be listed in this section.

---

### 8. All Appliances

Observations:

We provide a cursory review of selected appliances for "on-off" function only and strictly as a courtesy to our clients. This may also only be considered an inventory of appliances present during the inspection. Temperatures, thermostats, features, functions and cycles ARE NOT verified. From time to time, an appliance may be in a condition where it is "off" during the inspection. This might be via a disconnect switch or being unplugged. The nature of a visual inspection precludes the inspector from activating that switch or plugging that appliance into an electric connection. We strongly recommend that the client(s) verify proper operation of all appliances during the final walk-through and before the closing.

---

### 9. Ventilation

- Stove Top: System appears to recirculate to the interior.
- The hood filter was dirty at the time of the inspection. Recommend cleaning or replacement as desired.
- The old exhaust opening was sealed over with Duct Tape. This is a temporary fix.



Abandoned Exterior Exhaust

## Kitchen Continued

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### 10. Microwave

Observations:

- The appliance operated normally using basic controls at the time of the inspection. Recommend referring to the operational manuals for proper use and care.



General View of Microwave

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### 11. Range

- The appliance operated normally using basic controls at the time of the inspection. Recommend referring to the operational manuals for proper use and care.



General View of Gas Range

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### 12. Refrigerator

- The appliance operated normally using basic controls at the time of the inspection. Recommend referring to the operational manuals for proper use and care.



General View of Refrigerator

## Kitchen Continued

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### 13. Disposal

- The appliance operated normally using basic controls at the time of the inspection. Recommend referring to the operational manuals for proper use and care.
- Loose electrical wiring was observed at disposal: Loose electric under a disposal may fail to provide the proper grounding or bonding to safely operated the appliance. Repairs are recommended. See the electrical page of the report under "Branch Circuit Wiring" for more information.



General View of Disposal

### 14. Dishwasher

- The appliance operated normally using basic controls at the time of the inspection. Recommend referring to the operational manuals for proper use and care.

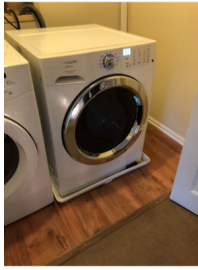


General View of Dishwasher

### 15. Clothes Washer

- The appliance operated normally using basic controls at the time of the inspection. Recommend referring to the operational manuals for proper use and care.
- We recommend replacing or changing the hoses on the wash machine to a reinforced type. The hose is an often overlooked connection but if it was to to leak can create significant damage.

## Kitchen Continued



General View of Washer



Hose Upgrade Recommended

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### 16. Clothes Dryer

- The clothes dryer vent was of a plastic or foil material that may be a fire hazard. Recommend replacement of the vent material with a proper type by a qualified appliance technician.



General View of Dryer



Improper Dryer Vent Material



## Plumbing

---

### 1. Water Supply

Location:

- Basement

Observations:

At the time of this inspection, the home was vacant and the plumbing systems had not been used for an unknown period of time. Please be aware that, because of the inactivity of the plumbing system, some defects may not become apparent until normal usage is resumed. Recommend verifying with the current owner as to the condition of the plumbing systems prior to closing.



General View of Water Meter

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### 2. Water Piping

Type:

- Copper

Observations:

The plumbing distribution portion of the system was reviewed. During this review no visible signs of leaks or other issues were discovered.

One area of supply piping under the basement steps were observed that appeared to be abandoned, likely from an old water treatment system. Recommend checking with the current owner and/or further evaluation by a licensed plumber before attempting removal.

The valve handles at the water meter were loose. These valve handles tend to strip if loose resulting in a bad valve or possible leak. Proper replacement of all missing valve handles is recommended.

---

### 3. Drain & Venting

Type:

- **PVC** (Plastic)

Observations:

The plumbing drain, waster and vent portion of the system was reviewed. During this review no visible signs of leaks or other issues were discovered.

## Plumbing Continued



General View of Drain Clean Out

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### 4. Fuel Supply Piping and Storage

Stats:

- Type: Natural Gas
- Main Shut Off Location: Exterior



General View of Gas Meter

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### 5. Flood Control Sump Pump

Observations:

Installation of a battery backup system is recommended to assure continued flood protection during a power outage or in the event of the main pump failure.

The sump pump is plugged into a normal outlet and not a GFCI protected outlet. We recommend to have sump pumps plugged into GFCI outlets. Installation by a qualified professional is recommended.

The sump pump discharge pipe is loose or not fully supported. This will cause excessive noise or damage to the system. Repairs are recommended.

## Plumbing Continued



General View of Sump Pump



Loose Sump Pump Piping

### 6. Ejector

Observations:

Ejector (Sewage): There are two different types of ejector pumps. One is for the lifting of liquid waste and the other is for solid waste. It is normal to have a liquid waste pump discharge into an inch and a half pipe while the solid waste pump discharges through a two inch pipe

Recommend securing the plumbing venting pipe.



Loose Plumbing Vent Pipe



General View of Ejector Pump

### 7. Hose Bibb(s)

Observations:

The exterior garden hose faucets (hose bibbs) was not a frost-proof type. Damage may occur in colder weather if the water in the garden hose faucet(s) freezes. Recommend checking with the current owner as to the location of an interior valve so the garden hose faucet(s) may be shut off and drained. Installation of frost-proof garden hose faucets by a licensed plumber may also be considered.

## Plumbing Continued



Non-Freeze Protected



Non-Freeze Protected

## Water Heater

### 1. Water Heater Comments

Stats:

- Gas
- 75 gal.
- 12-15 Years

Observations:

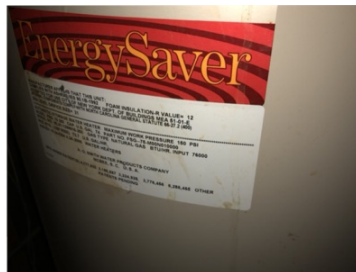
The temperature and pressure relief valve was not properly piped. In an emergency, this valve will discharge scalding water. Recommend installing piping so that the valve will discharge to a point about 6 inches from the floor.

The flue appeared to be backpitched (had negative rise or was dead level) which does not promote the proper passage of combustion products into the chimney. This could allow potentially hazardous flue gas and carbon monoxide to enter the building. Proper correction by a qualified heating or plumbing contractor is recommended.

This equipment was near the end of or beyond its normal life expectancy. Budgeting for its eventual replacement is recommended.



General View of Water Heater



General View of Water Heater Label Plate



Missing TPR Valve Extension



## Heating Unit

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### 1. Heating Conditions

Location:

- The heating the unit is located in the Basement.

Stats:

- Heating Type: Forced air
- Heating Brand: Goodman
- Heating Size: 105,000 - 125,000
- Fuel Type: Natural Gas
- Heating Age: 2-4

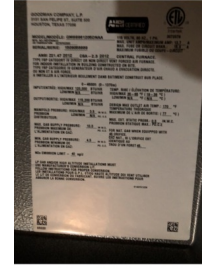
Observations:

The inspector is not equipped to inspect furnace heat exchangers for evidence of cracks or holes, as this can only be done by dismantling the unit. This is beyond the scope of this inspection. Some furnaces are designed in such a way that inspection is almost impossible. The inspector can not light pilot lights. Safety devices are not tested by the inspector. NOTE: Asbestos materials have been commonly used in heating systems. Determining the presence of asbestos can ONLY be preformed by laboratory testing and is beyond the scope of this inspection. Thermostats are not checked for calibration or timed functions. Adequacy, efficiency or the even distribution of air throughout a building cannot be addressed by a visual inspection. Electronic air cleaners, humidifiers and de-humidifiers are beyond the scope of this inspection. Have these systems evaluated by a qualified individual. The inspector does not perform pressure tests on coolant systems, therefore no representation is made regarding coolant charge or line integrity. Subjective judgment of system capacity is not a part of the inspection. Normal service and maintenance is recommended on a yearly basis. Determining the condition of oil tanks, whether exposed or buried, is beyond the scope of this inspection. Leaking oil tanks represent an environmental hazard which is sometimes costly to remedy. There are several types of heating systems used throughout the country. The most common is the gas, forced air, furnace, which will be discussed. The heat exchanger is the most critical part of a furnace. It separates the air in the house from the flames and exhaust gases being generated in the furnace. A heat exchanger can fail in one of two ways: 1) it rusts through, or 2) it cracks. The result of either condition is the products of combustion escape into the air in your home. A crack or hole in the heat exchanger is usually not visible and typically will not be identified during a home inspection. Heat exchangers have an average life expectancy of fifteen to twenty five years. The cost of replacing a heat exchanger is almost as much as replacing the entire furnace. In most cases, the entire furnace is replaced. Performing maintenance on a regular basis may increase the life span and help maintain the efficiency of your furnace. Check for any signs of corrosion, especially around flue pipes, humidifiers, and air conditioning coils. Listen for excessive noise. Consider an annual cleaning and service call from a qualified technician. Filters Conventional: There are several types of conventional air filters, each performs the same function- filtering the air before it travels into the furnace and out of the registers. Some are disposable while others you can clean. Most are rectangular and about 1" thick. Some manufacturers use a basket type filter that hangs in the blower compartment. Conventional filters are inexpensive and usually easy to replace.

## Heating Unit Continued



General View of Heating Unit



General View of Heating Unit Label Plate

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### 2. Duct Conditions

#### Observations:

Debris or other visible impediments were noted in the ductwork. This was visible through the registers and not through any other means of diagnostic tool. A cleaning would not only remove this debris but could allow air to flow better through the ducts.

The air filter(s) was dirty at the time of the inspection. Dirty filters restrict air flow which may cause short cycling and can shorten the life of the heating equipment. Recommend changing (or cleaning, if a reusable type) the filter in accordance with the filter manufacturer's and the heating equipment manufacturer's directions.

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### 3. Combustion Air Conditions

#### Observations:

The availability of secondary air for combustion and flue draft appears to be adequate, however, no calculation was performed by the inspector.

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### 4. Flue Pipe Conditions

#### Observations:

The flue pipe(s) appear to be have an adequate pitch and connection, however, no calculation was performed by the inspector.

---

### 5. Humidifier Conditions

#### Observations:

Humidifiers are designed to raise relative humidity levels in homes located in dry climates by adding moisture vapor to air heated by the furnace. Because a warm moist environment such as that which exists in humidifiers can promote the growth of bacteria, yeasts, and molds, the housing, condensation tubes and pumps must be kept clean. In accordance with the Standards of Practice the Inspector does not evaluate humidifiers. You should ask the seller about the functionality of the humidifier. Many homeowners do not understand the maintenance requirements connected with these appliances and maintenance is strongly recommended.

## Heating Unit Continued



General View of the Humidifier



General View of the Humidifier Pad

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### 6. Thermostat Conditions

#### Observations:

The thermostat was found be operational under normal controls, enhanced features and settings were not tested as apart of this inspection however. Any deviation from basic normal controls would listed in this section below.

## Cooling Unit

### 1. Cooling Conditions

Location:

- The air handler is located in the Basement.
- The condensing unit is located on the exterior.

Stats:

- Cooling Type: Forced air
- Cooling Brand: Goodman
- Cooling Size: 4 tons
- Fuel Type: Electric
- Cooling Age: 2-4

Observations:

The temperature across the cooling system, between a supply and return, should be between 14 and 22 degrees which is ideal operational efficiency. If the noted temperature taken today is below or above this range, it is recommended to have the system evaluated by a qualified HVAC technician. The cooling system temperature at the time of the inspection was: 14

The air conditioning equipment does not appear to have had recent maintenance. Heat exchanger defects may be hidden by dirt, debris or corrosion. Proper cleaning and further evaluation by a qualified heating contractor is recommended.



General View of Cooling Unit



General View of Cooling Unit Label Plate

## Electrical System

This report describes the amperage and voltage rating of the service, the location of the main disconnect and any sub panel(s), the presence of solid conductor aluminum branch circuit wiring, the presence or absence of smoke detectors and wiring methods. Inspectors are required to inspect the viewable portions of the service drop from the utility to the house, the service entrance conductors, cables and raceways, the service equipment and main disconnects, the service grounding, the interior components of the service panels and sub panels, the conductors, the over-current protection devices (fuses or breakers), ground fault circuit interrupters and a representative number of installed lighting fixtures, switches and receptacles. All issues or concerns listed in this Electrical section should be construed as current and a potential personal safety or fire hazard. Repairs should be a priority, and should be made by a qualified, licensed electrician.

---

### 1. Main Service

Type:

- Underground

Stats:

- Amperage: 200
- Voltage: 120/240V
- Wiring Types: Copper



General View of Electric Meter

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### 2. Branch Circuit Wiring

Stats:

- Conductor Material(s): Copper
  - Wiring Type(s): Conduit
- 

### 3. Outlets

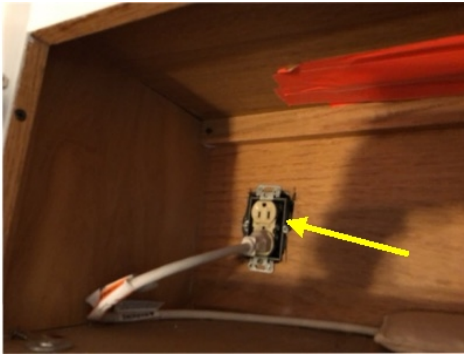
Observations:

One electrical outlet at the microwave connection was observed to be missing a protective cover plate. Recommend installation of proper cover plates at all receptacles to avoid shock hazard from exposed conductors.

One outlet at the bottom of the basement steps appeared to be non-functional when tested. The outlet(s) may be controlled by a wall switch that was not located, or may be dead for other reasons. Recommend checking with the current owner and/or further evaluation by a qualified electrician.



## Electrical System Continued



Missing Cover Plate



Dead Outlet (Bottom of Basement Steps)

### 4. Light Fixtures

#### Observations:

All of the closet lighting fixtures had incandescent bulbs which were too close to stored items. These bulbs get very hot and are a fire hazard. Changing these to cooler fluorescent fixtures or bulbs is recommended for safety.

Multiple loose electrical/lighting fixture(s) were observed on the exterior (Soffits/Flood) which may be a safety hazard. Recommend proper repair or replacement by a qualified electrician.

One electrical/lighting fixture in the hallway to the garage did not operate at the time of the inspection using normal controls. This often indicates that light bulbs may be burned out. Recommend checking with the current owner and verifying operation before the closing.



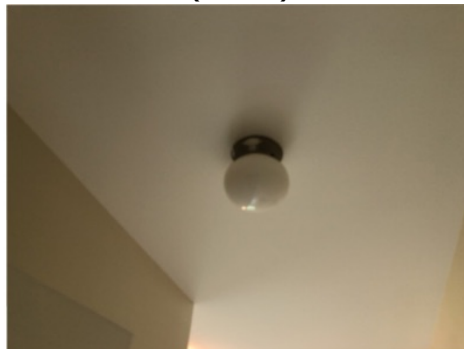
Loose Soffit Light



Loose/Damaged Flood Light (Back)



Exposed Closet Bulbs



Bad Bulb

## Electrical System Continued

### 5. Ground Fault Circuit Interrupters

Observations:

Ground Fault Circuit Interrupters were tested.

The Ground Fault Circuit Interrupter (GFCI) outlet did not turn off when the test buttons were operated. These devices reduce the risk of electrocution in wet areas. Recommend replacement of all defective GFCI outlets by a qualified electrician to restore protection. These were identified as being deficient in the: Master Bathroom and Exterior at the Deck.



Loose/Damaged GFCI



Failed GFCI (Master Bath)

### 6. Smoke Detectors

Observations:

Present: Periodic testing is strongly recommended.

All of the smoke detectors appeared to be older. The sensitivity of a smoke detector tends to diminish with age and replacement of all older units with new units is recommended for personal safety.

### 7. Switches

Observations:

Two loose switches were noted, one in the dining room and one in the family room. These may be difficult to operate and may also present a shock hazard. Recommend all switches be properly secured by a qualified electrician.



Loose/Worn Switch (Family Room)



Loose/Worn Switch (Dining Room)

## Electrical System Continued

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### 8. Intercom Systems

Observations:

An intercom system is part of the low voltage system in a home. The testing and operation of these systems is beyond the scope of this inspection. Any review or operation during the inspection is provided as a courtesy.

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### 9. Central Vacuum

Observations:

A central vacuum system is part of the low voltage system in a home. The testing and operation of this systems is beyond the scope of this inspection. Any review or operation during the inspection is provided as a courtesy.

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### 10. Doorbell

Observations:

The door bell was serviceable during the inspection.

## Electric Panel

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### 1. Main Service Panel

- Location:Basement
- Overcurrent Protection Devices:Breakers

The dead front cover of the electric panel was removed and the interior of the service panel was found to be in typical condition for a building this age.



General View of Electric Panel w/Cover On

## Foundation

This report describes the foundation, floor, wall, ceiling and roof structures and the method used to inspect any accessible under floor crawlspace areas. Inspectors inspect and probe the structural components of the home, including the foundation and framing, where deterioration is suspected or where clear indications of possible deterioration exist. Probing is not done when doing so will damage finished surfaces or when no deterioration is visible or presumed to exist. Inspectors are not required to offer an opinion as to the structural adequacy of any structural systems or components or provide architectural services or an engineering or structural analysis of any kind. Despite all efforts, it is impossible for a home inspection to provide any guaranty that the foundation, and the overall structure and structural elements of the building is sound.

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### 1. Access / Visibility

- Partially Finished Basement
- Crawl Space

Observations:

Access and visibility of the basement was typical.

The majority of the crawl space was observed.

---

### 2. Foundation Moisture Indications

- Water Stains (See Comments Below)
- 

### 3. Floors

Basement: Concrete • Crawl Space: Concrete

Observations:

- Cracks were observed that are common to this type of construction, usually due to shrinkage. Shrinkage is a natural part of the concrete curing process and surface cracking is very common. These are usually cosmetic and may be repaired as desired, however, monitoring of all cracking for possible seepage or further movement is recommended.
- 

### 4. Columns: (Inspected Only Where Visible)

- The the columns were found to have exhibited moderate general deterioration typical for the age of the home or material used. Any deficiencies will be listed in this section.
- 

### 5. Beams: (Inspected Only Where Visible)

- The beam was found to have exhibited moderate general deterioration typical for the age of the home or material used. Any deficiencies will be listed in this section.
- 

### 6. Floor Joists: (Inspected Only Where Visible)

- The joists were found to have exhibited moderate general deterioration typical for the age of the home or material used. Any deficiencies will be listed in this section.
- The rim or band joist is insulated throughout the perimeter of the home. This is an important element in preventing drafts under the floor. This also prevents any meaningful view of the condition of the rim or band joist.



## Foundation Continued

### 7. Sub-Flooring: (Inspected Only Where Visible)

- The sub-flooring was found to have exhibited moderate general deterioration typical for the age of the home or material used. Any deficiencies will be listed in this section.
- Not Fully Visible: Hidden by Finishes

### 8. Foundation Walls

Concrete

- Cracks were observed that are common to this type of construction. These are usually cosmetic and may be repaired as desired, however monitoring of all cracking for possible seepage or movement is recommended.
- Staining (apparently from moisture), was observed on areas of the foundation walls which was DRY when tested with a moisture meter. Recommend monitoring of the staining and/or checking with the current owner for further information. Also recommend determination and correction of the source of the staining if still active.
- Areas of possible structural movement of the foundation wall(s) were noted. Further evaluation by a licensed structural engineer and/or a qualified contractor is recommended.



Moisture Staining (Dry)



Typical Cracking



Possible Structural Movement

### 9. Foundation Ventilation

Type:

- Windows

### 10. Floor Drains

- Present

## Hall Bathroom

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### 1. Location

Materials:

2nd Floor

Hall

---

### 2. Bathtub (Includes Wall/Tile)

The bathtub was found to have exhibited moderate general deterioration typical for the age of the home or material used. Any deficiencies will be listed in this section.



General View of Bathtub

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### 3. Tub Drain

The tub appeared to drain slowly. There are several things that can cause this, including the accumulation of hair and soap scum in the drain piping. Drain opening chemicals can sometimes help, but often provide only temporary relief. Further review and correction by a qualified plumber is recommended.

---

### 4. Tub Faucet

There is a gap between the tub spout and the wall surround. This location is an excellent area for water to entry the wall cavity. Sealant is recommended in this area.



Gap at the Faucet

## Hall Bathroom Continued

### 5. Shower Head

The shower head was found to have exhibited moderate general deterioration typical for the age of the home or material used. Any deficiencies will be listed in this section.

### 6. Sink/Vanity

Staining was observed under the sink. The staining was DRY when tested with a moisture meter. Recommend monitoring of the staining and/or checking with the current owner. It is also recommended to determine and correct the source of the staining if still active.



Water Damaged Vanity

### 7. Sink Drain

The left sink drain was found to have exhibited moderate general deterioration typical for the age of the home or material used. Any deficiencies will be listed in this section.

The P-trap and/or or waste pipe under the right sink was a ribbed (corrugated) non-listed type. This will tend to trap hair and scum and become clogged. Recommend replacement with a proper, smooth trap by a qualified plumber.

Leaking was noted under the right sink from the waste line and/or other piping. Correction by a qualified plumber is recommended.

The mechanical drain stopper at both sinks was not functional or out of adjustment, correction is recommended.



Leaking/Flex Drain (Right)



General View of Left Sink Drain

### 8. Sink Faucet

The sink faucet was found to have exhibited moderate general deterioration typical for the age of the home or material used. Any deficiencies will be listed in this section.

## Hall Bathroom Continued

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### **9. Toilet**

The toilet was found to have exhibited moderate general deterioration typical for the age of the home or material used. Any deficiencies will be listed in this section.

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### **10. Venting**

The venting was found to have exhibited moderate general deterioration typical for the age of the home or material used. Any deficiencies will be listed in this section.

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### **11. Floor**

The floor was found to have exhibited moderate general deterioration typical for the age of the home or material used. Any deficiencies will be listed in this section.

## Glossary

Term	Definition
GFCI	A special device that is intended for the protection of personnel by de-energizing a circuit, capable of opening the circuit when even a small amount of current is flowing through the grounding system.
PVC	Polyvinyl chloride, which is used in the manufacture of white plastic pipe typically used for water supply lines.